

GENERAL NOTES (Rev. 1/2023) 1. THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING M, LLC (HEREIN "BOHLER") PRIOR TO THE DATE ON WHICH THE PROFESSIONAL OF RECORD AND BOHLER PREPARED THESE PLANS. THE CONTRACTOR MUST FIELD VERIFY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY BOHLER IN WRITING, IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS...

DEMOLITION NOTES (Rev. 1/2023) 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS SPECIFIC NOTES...

GRADING NOTES (Rev. 1/2023) 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS SPECIFIC NOTES...

STANDARD ABBREVIATIONS FOR ENTIRE PLAN SET. Table with columns for symbol and description. Includes items like # NUMBER, ## SLOPE EXPRESSED IN HORIZONTAL/VERTICAL IN FEET, AASHTO AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS, ARCH ARCHITECTURAL, ASPH ASPHALT, ASSOC ASSOCIATION, BC BOTTOM OF CURB, BIO BASEMENT FLOOR, BIO BAGEARDEN, BIT BITUMINOUS, BK BLOCK, BL BASELINE, BLDG BUILDING, BLM BUILDING, BM BENCH MARK, BRV BUILDING RESTRICTION LINE, BRW BORDERING VEGETATIVE WETLAND, CB CATCH BASIN, CF CURB INLET, CI CURB LINE, CL CENTER LINE, CMP CORRUGATED METAL PIPE, CNG CLEAN OUT, CONN CONNECTION, COORD COORDINATE, CP CORRUGATED PLASTIC PIPE, CY CUBIC YARD, DEC DECORATIVE, DEP DEPARTMENT OF ENVIRONMENTAL PROTECTION, DET DETENTION, DIA DIAMETER, DMH DRAINAGE MANHOLE, DOM DOMESTIC, DOT DEPARTMENT OF TRANSPORTATION, DP DESIGN POINT, DWL DASHED WHITE LINE, DYL DOUBLE YELLOW LINE, EX EXISTING GRADE, ELEC ELECTRIC, ELEV ELEVATION, EP / EOP EDGE OF PAVEMENT, ES / EOS EDGE OF SHOULDER, EW END WALL, EX EXISTING, FEMA FEDERAL EMERGENCY MANAGEMENT AGENCY, FF FINISH / FIRST FLOOR, FF FINISH / FIRST FLOOR ELEVATION, FG FINISH GRADE, FH FIRE HYDRANT, FM FORCE MAIN, FO FIBER OPTIC, G GRADE, GC GENERAL CONTRACTOR, GEO GEOTECH/GEOTECHNICAL, GAR GARAGE FLOOR ELEVATION (AT DOOR), GFA GROSS FLOOR AREA, GH GRADE HIGH (WALL), GL GRADE LOW (WALL), GR GRATE, GR GREASE TRAP, GV GATE VALVE, HDPE HIGH DENSITY POLYETHYL, HOR HORIZONTAL, HP HIGH POINT, HW HEADWALL, ICS INLENT CONTROL STRUCTURE, INF INFILTRATION, INT INTERSECTION, INV INVERT, LF LINEAR FOOT, LOC LIMIT OF CLEARING, LOD LIMIT OF DISTURBANCE, LOS LINE OF SIGHT, LP LOW POINT, LSA LANDSCAPE, LSA LANDSCAPE AREA, MAX MAXIMUM, ME MATCH EXISTING, MEP MECHANICAL, ELECTRICAL, AND PLUMBING, MH MANHOLE, MIN MINIMUM, MJ MECHANICAL JOINT, MUTCD MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, NOAA NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION.

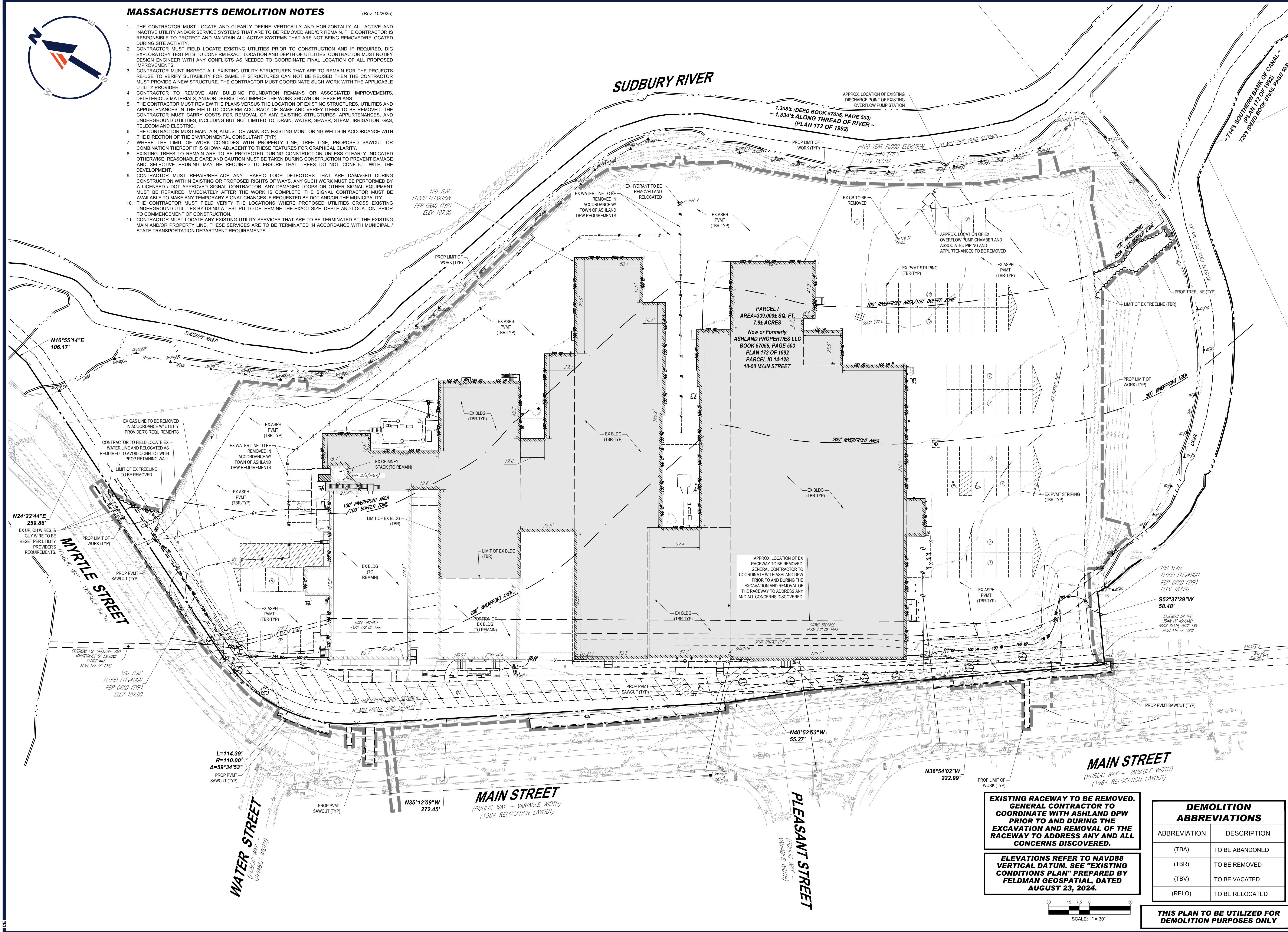
STANDARD DRAWING LEGEND. Table with columns for symbol and description. Includes items like 0 DIAMETER, OSM OPERATIONS AND MAINTENANCE, OC ON CENTER, OCS OUTLET CONTROL STRUCTURE, OGS OIL AND GRIT SEPARATOR, ORD ORDINANCE, PA / POA POINT OF ANALYSIS, PCR POINT OF CURVATURE, PCR RETURN, PERF PERFORATED, PG PROPOSED GRADE, PI POINT OF INTERSECTION, POG POINT OF GRADE, PP POLYPROPYLENE PIPE, PROP PROPOSED, PT POINT OF TANGENCY, PTCR POINT OF TANGENCY CURB, PVI POINT OF VERTICAL INTERSECTION, PVMT PAVEMENT, PVT POINT OF VERTICAL TANGENCY, R RADIUS / RADII, RW RIGHT-OF-WAY / RIGHTS-OF-WAY, RCP REINFORCED CONCRETE PIPE, RD ROOF DRAIN, REGS REGULATIONS, RELO TO BE RELOCATED, RET WALL RETAINING WALL, RETO TO BE RETURNED TO OWNER, RG RAIN GARDEN, S SLOPE, SAN SANITARY SEWER, SESC SOIL EROSION AND SEDIMENT CONTROL, SHLO STA HIGHWAY LAYOUT, SHM SANITARY MANHOLE, STA STATION, STM STORM WATER / STORM SEWER, SWL SINGLE/SOLID WHITE LINE, SWP SWP, SWP SWP, TBA TO BE ABANDONED, TBD TO BE DETERMINED, TBP TO BE PROTECTED, TBR TO BE REMOVED, TBR TO BE REMOVED AND REPLACED IN KIND, TBS TO BE SALVAGED, TBV TO BE VACATED, TC TOP OF CURB, Tc TIME OF CONCENTRATION, TD TRENCH DRAIN, TELE TELECOMMUNICATIONS, TELED TELEVISION, TPF TREE PROTECTION FENCE, TR TO REMAIN, TRANS TRANSITION, TYP TYPICAL, UG UNDERGROUND, ULT UTILITY POLE, UNDERGROUND TELEPHONE LINE, UNDERGROUND CABLE LINE, UNDERGROUND WATER LINE, UNDERGROUND ELECTRICAL LINE, UNDERGROUND GAS LINE, OVERHEAD WIRE, OVERHEAD TELEPHONE LINE, OVERHEAD WATER METER, WATER METER, WATER VALVE, GAS VALVE, GAS METER, TYPICAL END SECTION, HEADWALL OR ENDWALL, GRATE INLET, INF INFILTRATION, INT INTERSECTION, INV INVERT, LF LINEAR FOOT, LOC LIMIT OF CLEARING, LOD LIMIT OF DISTURBANCE, LOS LINE OF SIGHT, LP LOW POINT, LSA LANDSCAPE, LSA LANDSCAPE AREA, MAX MAXIMUM, ME MATCH EXISTING, MEP MECHANICAL, ELECTRICAL, AND PLUMBING, MH MANHOLE, MIN MINIMUM, MJ MECHANICAL JOINT, MUTCD MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, NOAA NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION.

REVISIONS table with columns REV, DATE, COMMENT, DRAWN BY. Includes entries for 2/08/2024, 02/25/2025, 03/12/2025, 03/19/2025, 04/29/2025, 06/04/2025, 08/07/2025, 09/16/2025, 12/18/2025. Includes project information: PROJECT: 40B DEVELOPMENT "THE SANCTUARY AT ASHLAND MILLS", MAP: 14 LOT: 128, 50 MAIN STREET, TOWN OF ASHLAND MASSACHUSETTS, BOHLER ENGINEERING logo, and SHEET NUMBER: GENERAL NOTES AND LEGEND C-102.

MASSACHUSETTS DEMOLITION NOTES

(Rev. 10/2025)

1. THE CONTRACTOR MUST LOCATE AND CLEARLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED AND/OR REMAIN. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
2. CONTRACTOR MUST FIELD LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION AND IF REQUIRED, DIG EXPLORATORY TEST PITS TO CONFIRM EXACT LOCATION AND DEPTH OF UTILITIES. CONTRACTOR MUST NOTIFY DESIGN ENGINEER WITH ANY CONFLICTS AS NEEDED TO COORDINATE FINAL LOCATION OF ALL PROPOSED IMPROVEMENTS.
3. CONTRACTOR MUST INSPECT ALL EXISTING UTILITY STRUCTURES THAT ARE TO REMAIN FOR THE PROJECTS RE-USE TO VERIFY SUITABILITY FOR SAME. IF STRUCTURES CAN NOT BE RE-USED THEN THE CONTRACTOR MUST PROVIDE A NEW STRUCTURE. THE CONTRACTOR MUST COORDINATE SUCH WORK WITH THE APPLICABLE UTILITY PROVIDER.
4. CONTRACTOR TO REMOVE ANY BUILDING FOUNDATION REMAINS OR ASSOCIATED IMPROVEMENTS, DELETERIOUS MATERIALS, AND/OR DEBRIS THAT IMPEDS THE WORK SHOWN ON THESE PLANS.
5. THE CONTRACTOR MUST REVIEW THE PLANS VERSUS THE LOCATION OF EXISTING STRUCTURES, UTILITIES AND APPURTENANCES IN THE FIELD TO CONFIRM ACCURACY OF SAME AND VERIFY ITEMS TO BE REMOVED. THE CONTRACTOR MUST CARRY COSTS FOR REMOVAL OF ANY EXISTING STRUCTURES, APPURTENANCES, AND UNDERGROUND UTILITIES, INCLUDING BUT NOT LIMITED TO, DRAIN, WATER, SEWER, STEAM, IRRIGATION, GAS, TELECOM AND ELECTRIC.
6. THE CONTRACTOR MUST MAINTAIN, ADJUST OR ABANDON EXISTING MONITORING WELLS IN ACCORDANCE WITH THE DIRECTION OF THE ENVIRONMENTAL CONSULTANT (TYP).
7. WHERE THE LIMIT OF WORK COINCIDES WITH PROPERTY LINE, TREE LINE, PROPOSED SAWCUT OR COMBINATION THEREOF IT IS SHOWN ADJACENT TO THESE FEATURES FOR GRAPHICAL CLARITY.
8. EXISTING TREES TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION UNLESS CLEARLY INDICATED OTHERWISE. REASONABLE CARE AND CAUTION MUST BE TAKEN DURING CONSTRUCTION TO PREVENT DAMAGE AND SELECTIVE PRUNING MAY BE REQUIRED TO ENSURE THAT TREES DO NOT CONFLICT WITH THE DEVELOPMENT.
9. CONTRACTOR MUST REPAIR/REPLACE ANY TRAFFIC LOOP DETECTORS THAT ARE DAMAGED DURING CONSTRUCTION WITHIN EXISTING OR PROPOSED RIGHTS OF WAYS. ANY SUCH WORK MUST BE PERFORMED BY A LICENSED / DOT APPROVED SIGNAL CONTRACTOR. ANY DAMAGED LOOPS OR OTHER SIGNAL EQUIPMENT MUST BE REPAIRED IMMEDIATELY AFTER THE WORK IS COMPLETE. THE SIGNAL CONTRACTOR MUST BE AVAILABLE TO MAKE ANY TEMPORARY SIGNAL CHANGES IF REQUESTED BY DOT AND/OR THE MUNICIPALITY.
10. THE CONTRACTOR MUST FIELD VERIFY THE LOCATIONS WHERE PROPOSED UTILITIES CROSS EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO DETERMINE THE EXACT SIZE, DEPTH AND LOCATION, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
11. CONTRACTOR MUST LOCATE ANY EXISTING UTILITY SERVICES THAT ARE TO BE TERMINATED AT THE EXISTING MAIN AND/OR PROPERTY LINE. THESE SERVICES ARE TO BE TERMINATED IN ACCORDANCE WITH MUNICIPAL / STATE TRANSPORTATION DEPARTMENT REQUIREMENTS.



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8	09/16/2025	PLAN SET OF RECORD	EGD
9	12/18/2025	NOTICE OF INTENT SUBMISSION	CSE
10			EGD

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PROJECT No.: MAA230359.00-10B
 DRAWN BY: CSE
 CHECKED BY: JAK
 DATE: 02/25/2025
 CAD ID: P-CIVL-PROP

PROJECT:
PRELIMINARY SITE DEVELOPMENT PLANS
 FOR
SLV ASHLAND, LLC
 PROPOSED 40B DEVELOPMENT "THE SANCTUARY AT ASHLAND MILLS"
 MAP: 14 | LOT: 128
 50 MAIN STREET
 TOWN OF ASHLAND MASSACHUSETTS

BOHLER
 352 TURNPIKE ROAD, 3rd FLOOR
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900
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 John Kucich
 CIVIL ENGINEER
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 MASS. REG. NO. 115130
 NEW HAMPSHIRE REG. NO. 15476
 CONN. REG. NO. 19177
 RHODE ISLAND REG. NO. 0616
 MAINE LICENSE NO. 12551

SHEET TITLE:
EXISTING CONDITIONS/ DEMOLITION PLAN
 SHEET NUMBER:
C-201

REVISION 10 - 12/18/2025

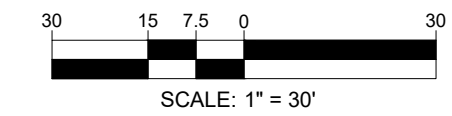
EXISTING RACEWAY TO BE REMOVED. GENERAL CONTRACTOR TO COORDINATE WITH ASHLAND DPW PRIOR TO AND DURING THE EXCAVATION AND REMOVAL OF THE RACEWAY TO ADDRESS ANY AND ALL CONCERNS DISCOVERED.

ELEVATIONS REFER TO NAVD88 VERTICAL DATUM. SEE "EXISTING CONDITIONS PLAN" PREPARED BY FELDMAN GEOSPATIAL, DATED AUGUST 23, 2024.

DEMOLITION ABBREVIATIONS

ABBREVIATION	DESCRIPTION
(TBA)	TO BE ABANDONED
(TBR)	TO BE REMOVED
(TBV)	TO BE VACATED
(RELO)	TO BE RELOCATED

THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY



P:\2023\MAA230359\03\CD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\PROP-CIVL-PROP-MAA230359.00-10B-10-JAVOUT-C201.ECD

ZONING TABLE

ZONE: INDUSTRIAL (ADD A OVERLAY DISTRICT)
 USE: MIXED-USE AND MULTIFAMILY RESIDENTIAL
 MAP: 14 LOT: 128

APPLICANT/ OWNER INFORMATION

APPLICANT: SLV ASHLAND, LLC
 257 HILLSIDE AVENUE
 NEEDHAM, MA 02494

PROPERTY OWNER: ASHLAND PROPERTIES LLC
 330 HOPPING BROOK ROAD
 HOLLISTON, MA 01746

BULK REQUIREMENTS

ITEM	CODE	PERMITTED	EXISTING	PROPOSED
MIN LOT AREA	§ 8.5.6.1	35,000 SF	±340,142 SF (±7.8 AC)	NO CHANGE
MIN LOT FRONTAGE	§ 8.5.6.1	100'	±1,031.13'	NO CHANGE
MIN YARD SETBACKS				
FRONT YARD	§ 8.5.6.1	8' MIN / 15' MAX.	16.2'	MIN: 18.6' (BUILDING) 12.6' (RETAINING WALL) MAX: 132.1' (BUILDING)
SIDE YARD	§ 8.5.6.1	0' IF COMMON WALL / 10' MIN. OTHERWISE	56.8'	79.8'
REAR YARD	§ 8.5.6.4	12' MIN.	±609.2'	±529.5'
MAX PERMITTED HEIGHT	§ 8.5.6.1	38' (3 STORIES)	±1-2 STORIES	69' - 11" (6 STORIES) (3) FIVE STORIES OVER PARKING GARAGE ±1-60' - 11" FROM STREET GRADE
LOT COVERAGE	N/A	N/A	±26.8%	±24.0%
IMPERVIOUS COVERAGE	N/A	N/A	±57.7%	±51.9%
WETLAND AREA	N/A	N/A	±24.5%	NO CHANGE
FLOODPLAIN AREA	N/A	N/A	±31.5% (4)	±38.9% (5)
UNDISTURBED OPEN SPACE	N/A	N/A	N/A	±33.6%

PARKING REQUIREMENTS

FRONT PARKING SETBACK	§ 5.1.3	10' MIN. FROM ROW	4.6(E)	11.8'
PARKING STALL CRITERIA STANDARD: 9 FT X 18 FT	§ 5.1.2	331 (1)	-	362 (TOTAL SPACES) (2) 349 (NON ACCESSIBLE)
ACCESSIBLE PARKING CRITERIA STANDARD: 8 FT X 18 FT STALL (MIN.) 5 FT X 18 FT AISLE (MIN.) VAN: 8 FT X 18 FT STALL (MIN.) 8 FT X 18 FT AISLE (MIN.)	N/A	PER 521 CMR 10.3 - ACCESSIBLE SPACES SHALL BE PROVIDED IN SUFFICIENT NUMBERS TO MEET THE NEEDS OF THE DWELLING UNIT OCCUPANTS*	-	7 SURFACE SPACES 7 COVERED SPACES
KEY:				(E) - EXISTING NONCONFORMANCE (#) - SEE NOTE #

(1) PER SECTION 8.5.13 OF THE TOWN OF ASHLAND ZONING BYLAWS, IN THE ASHLAND DOWNTOWN DISTRICT, THE NUMBER OF PARKING SPACES REQUIRED FOR EACH USE SHALL BE 75% OF THOSE STATED IN SECTION 5.1 OF THE TOWN OF ASHLAND ZONING BYLAWS, WHERE THERE IS A MIXTURE OF LAND USES ON ONE LOT, THE NUMBER OF PARKING SPACES REQUIRED SHALL BE ONLY 75% OF THOSE STIPULATED ABOVE. THAT IS, WHERE THERE IS A MIXTURE OF USES THE PARKING REQUIREMENT WILL BE 56.25% (75% TIMES 75%).

USE/CATEGORY: MIXED-USE RESIDENTIAL, RETAIL & RESTAURANT
 REQUIRED PARKING CALCULATION:
 RESIDENTIAL:
 2 SPACES PER DWELLING UNIT:
 (2 SPACES / D.U.) X 250 UNITS = 500 SPACES

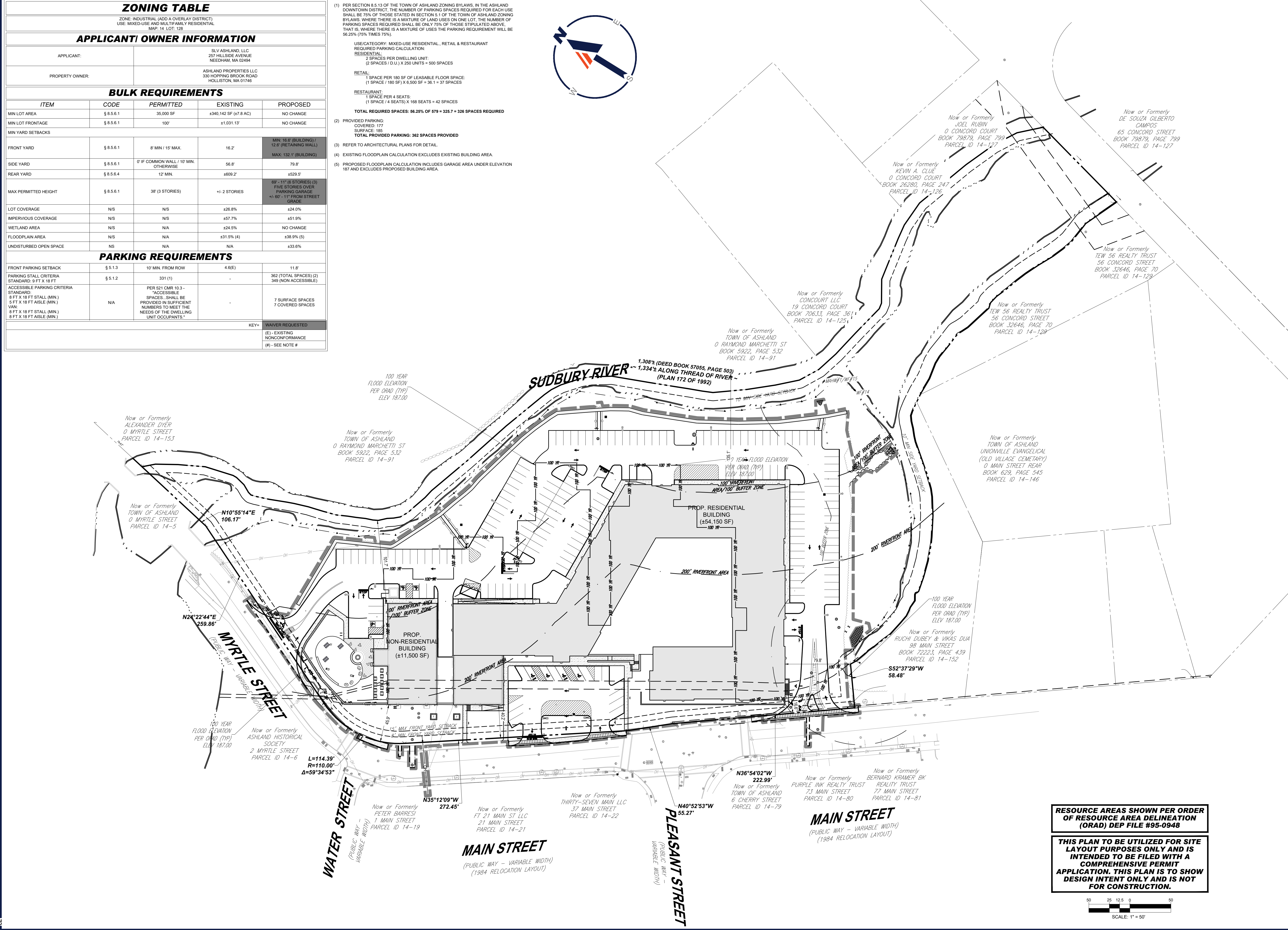
RETAIL:
 1 SPACE PER 180 SF OF LEASABLE FLOOR SPACE:
 (1 SPACE / 180 SF) X 6,500 SF = 36.1 = 37 SPACES

RESTAURANT:
 1 SPACE PER 4 SEATS:
 (1 SPACE / 4 SEATS) X 168 SEATS = 42 SPACES

TOTAL REQUIRED SPACES: 66.25% OF 579 = 325.7 = 326 SPACES REQUIRED

PROVIDED PARKING:
 COVERED: 177
 SURFACE: 185
TOTAL PROVIDED PARKING: 362 SPACES PROVIDED

(2) REFER TO ARCHITECTURAL PLANS FOR DETAIL.
 (3) EXISTING FLOODPLAIN CALCULATION EXCLUDES EXISTING BUILDING AREA.
 (4) PROPOSED FLOODPLAIN CALCULATION INCLUDES GARAGE AREA UNDER ELEVATION 187 AND EXCLUDES PROPOSED BUILDING AREA.



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7	06/04/2025	290' SIGHT DISTANCE	CSE	EGD
8	08/07/2025	220' SIGHT DISTANCE	CSE	EGD
9	09/16/2025	PLAN SET OF RECORD	CSE	EGD
10	12/18/2025	NOTICE OF INTENT SUBMISSION	CSE	EGD

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 FOR
SLV ASHLAND, LLC
 PROPOSED
 40B DEVELOPMENT
 "THE SANCTUARY AT ASHLAND MILLS"
 MAP: 14 | LOT: 128
 50 MAIN STREET
 TOWN OF ASHLAND
 MASSACHUSETTS

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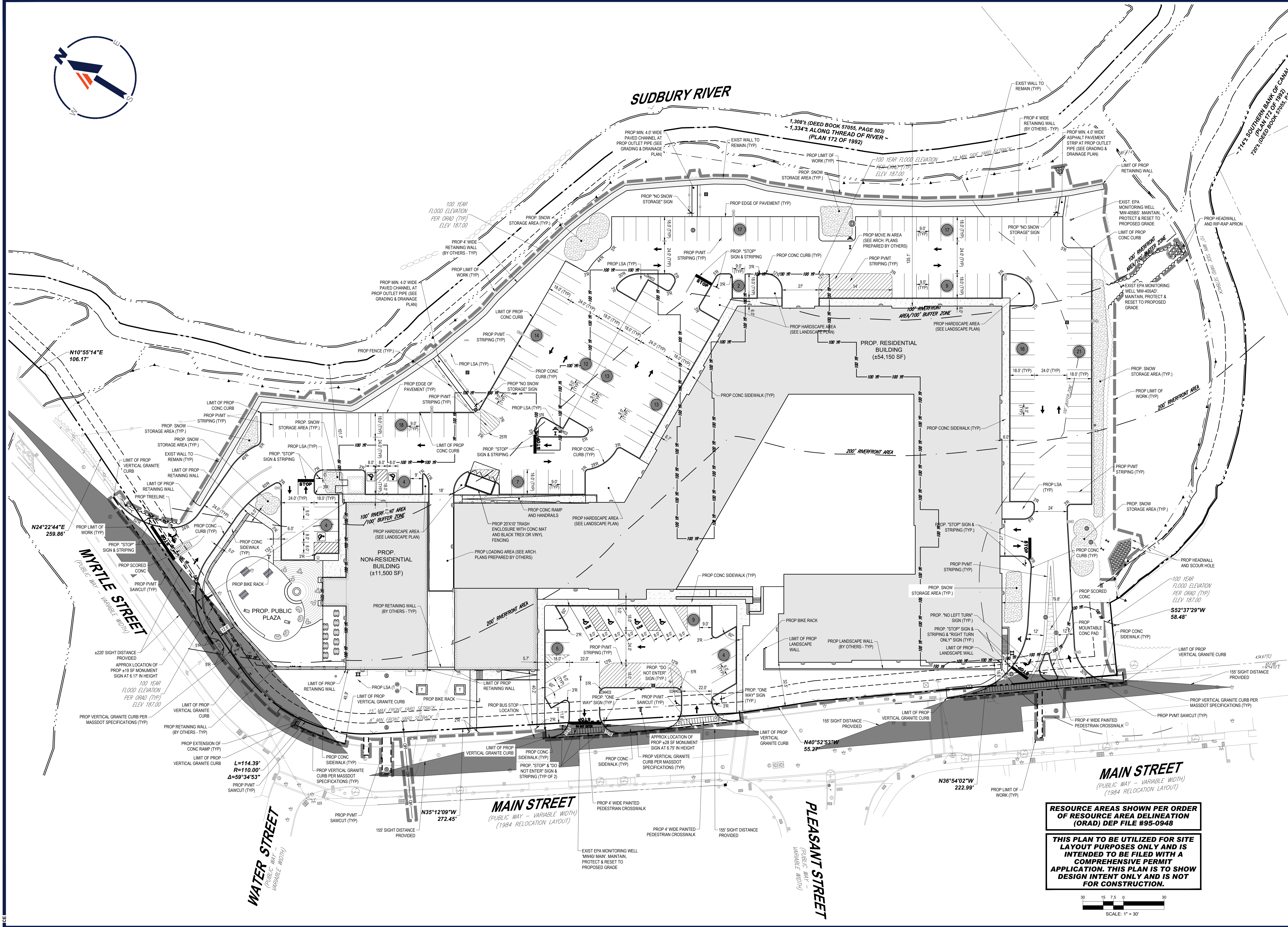
SHEET TITLE:
OVERALL SITE PLAN
 SHEET NUMBER:
C-300
 REVISION 10 - 12/18/2025

RESOURCE AREAS SHOWN PER ORDER OF RESOURCE AREA DELINEATION (ORAD) DEP FILE #95-0948

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY AND IS INTENDED TO BE FILED WITH A COMPREHENSIVE PERMIT APPLICATION. THIS PLAN IS TO SHOW DESIGN INTENT ONLY AND IS NOT FOR CONSTRUCTION.

SCALE: 1" = 50'

P:\2023\MAA230359\00\DRAWINGS\PLAN SET\CIVIL SITE PLANS\PROP-CIVL-PROP-MAA230359.00-10B-14-LAYOUT-C-300 OVERALL SITE



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 CONN. REG. NO. 19177
 RHODE ISLAND REG. NO. 9616
 MAINE LICENSE NO. 12551

SHEET TITLE:
SITE PLAN
 SHEET NUMBER:
C-301
 REVISION 10 - 12/18/2025

RESOURCE AREAS SHOWN PER ORDER OF RESOURCE AREA DELINEATION (ORAD) DEP FILE #95-0948

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SCALE: 1" = 30'



SUDBURY RIVER

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FOR

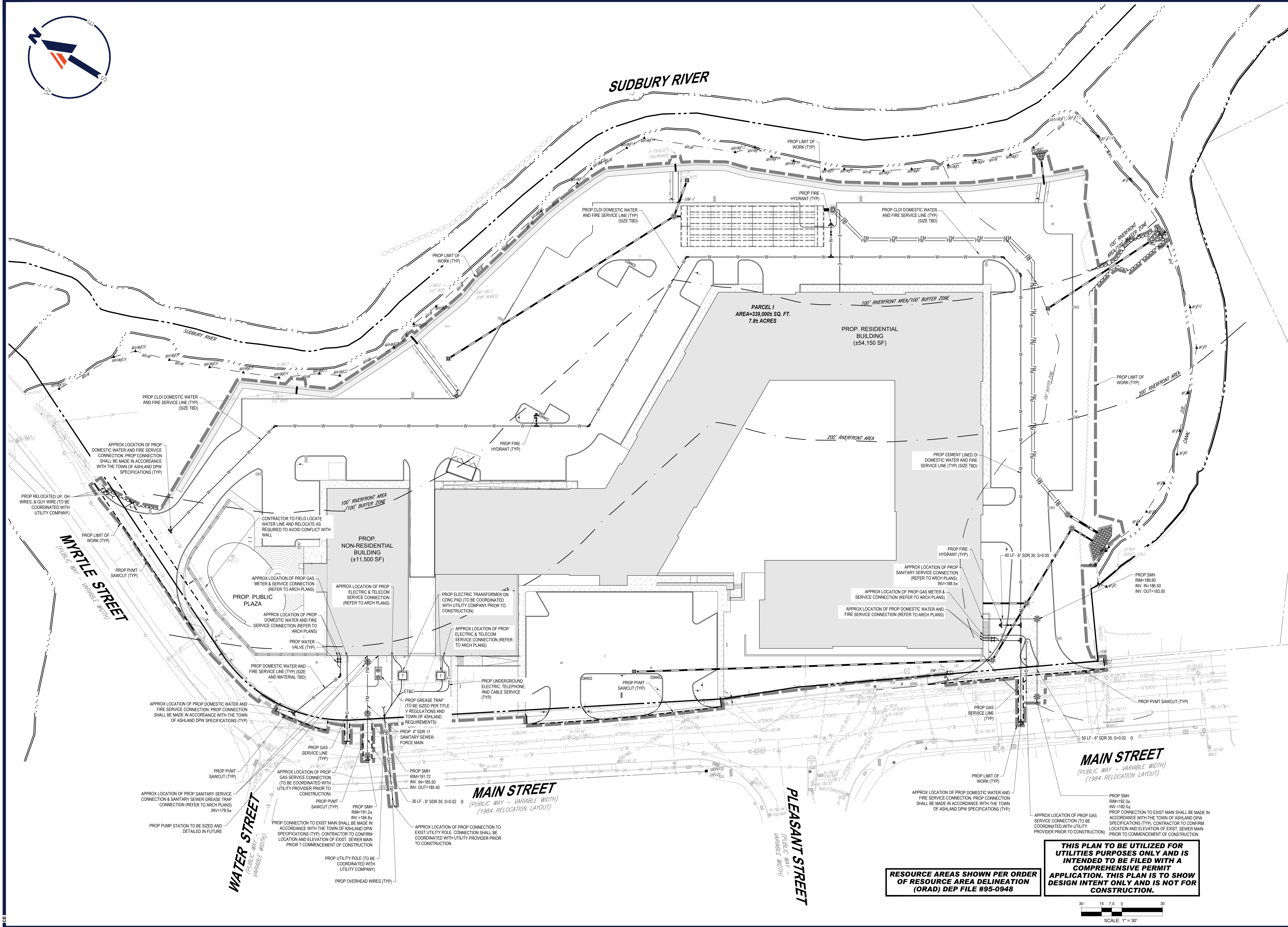
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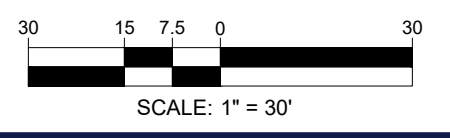
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COMM. EXPIRES 12/31/27
RHODE ISLAND LICENSE NO. 0616
MAINE LICENSE NO. 12553

SHEET TITLE:
UTILITY PLAN
SHEET NUMBER:
C-501
REVISION 10 - 12/18/2025

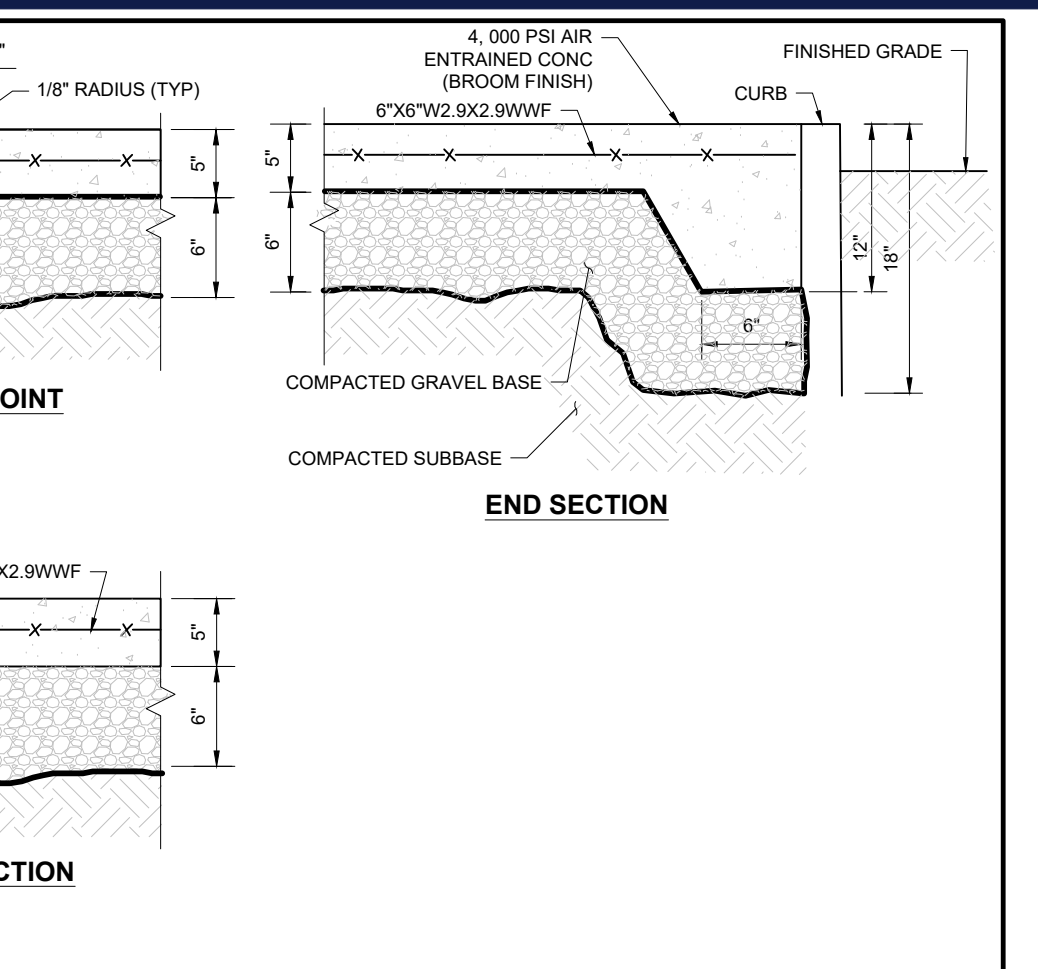
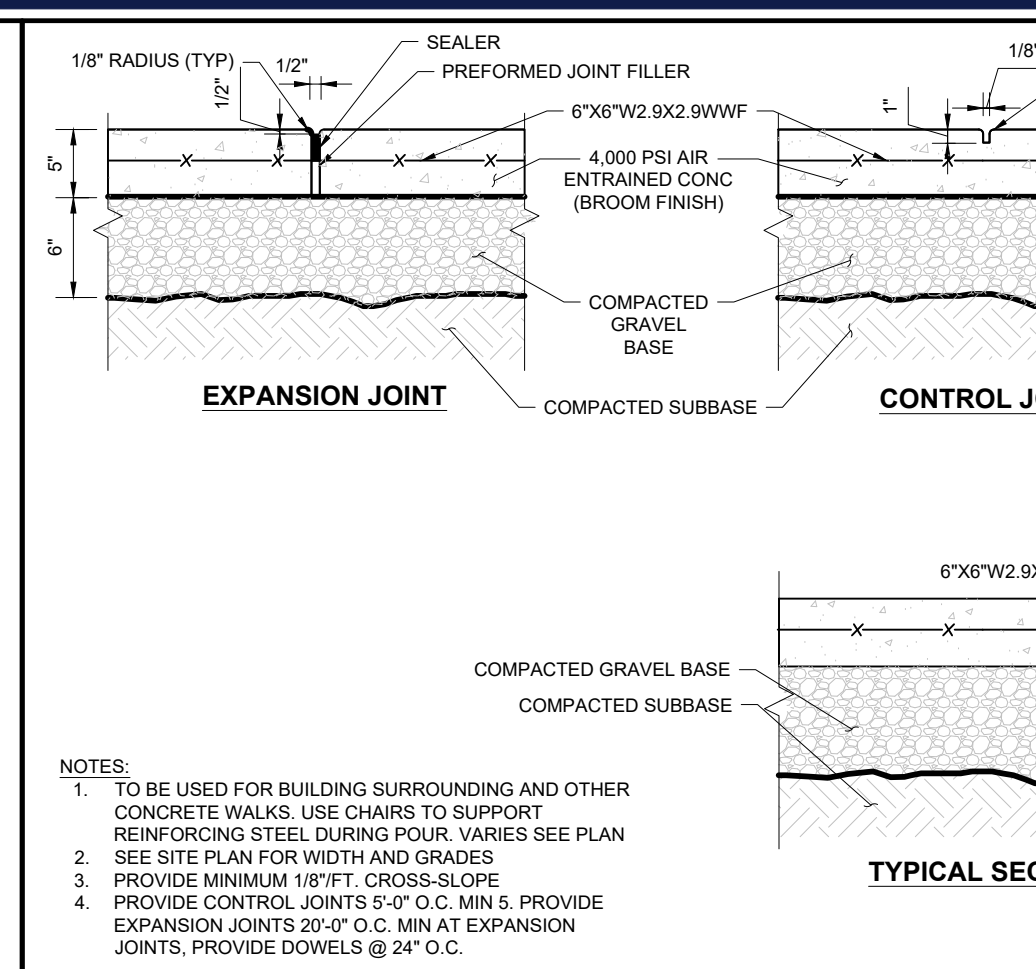
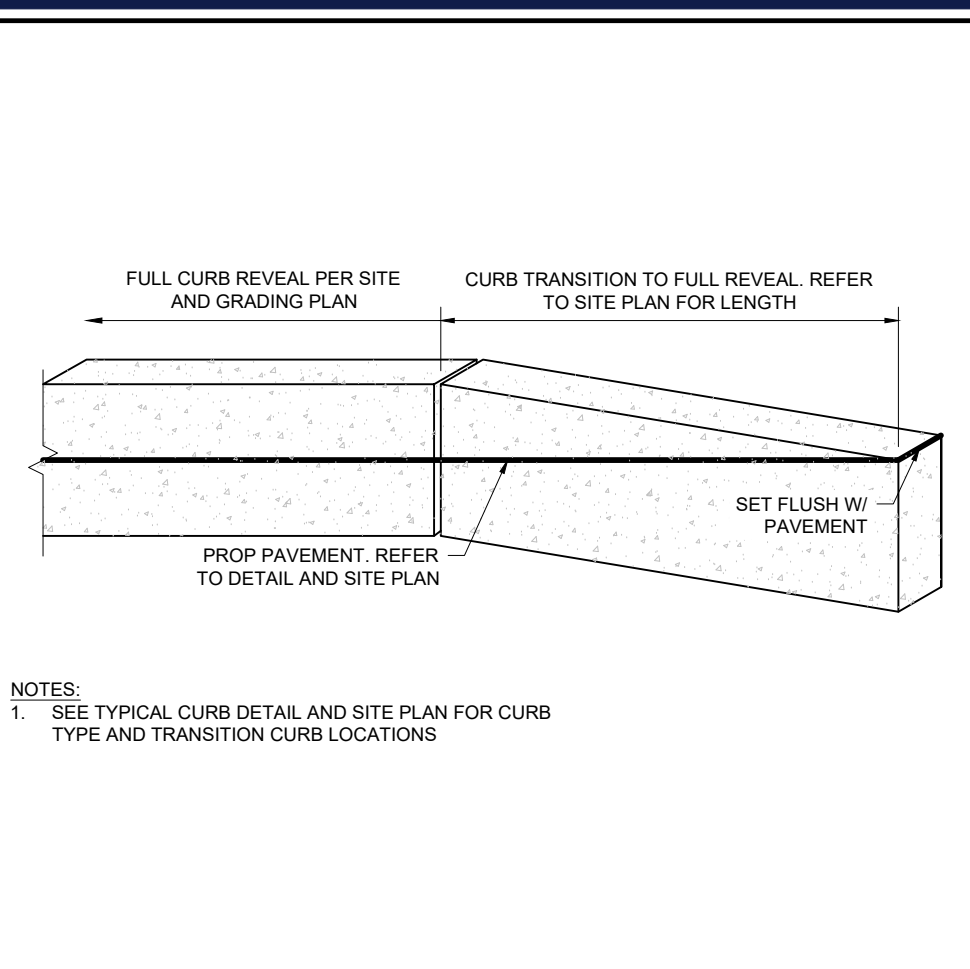
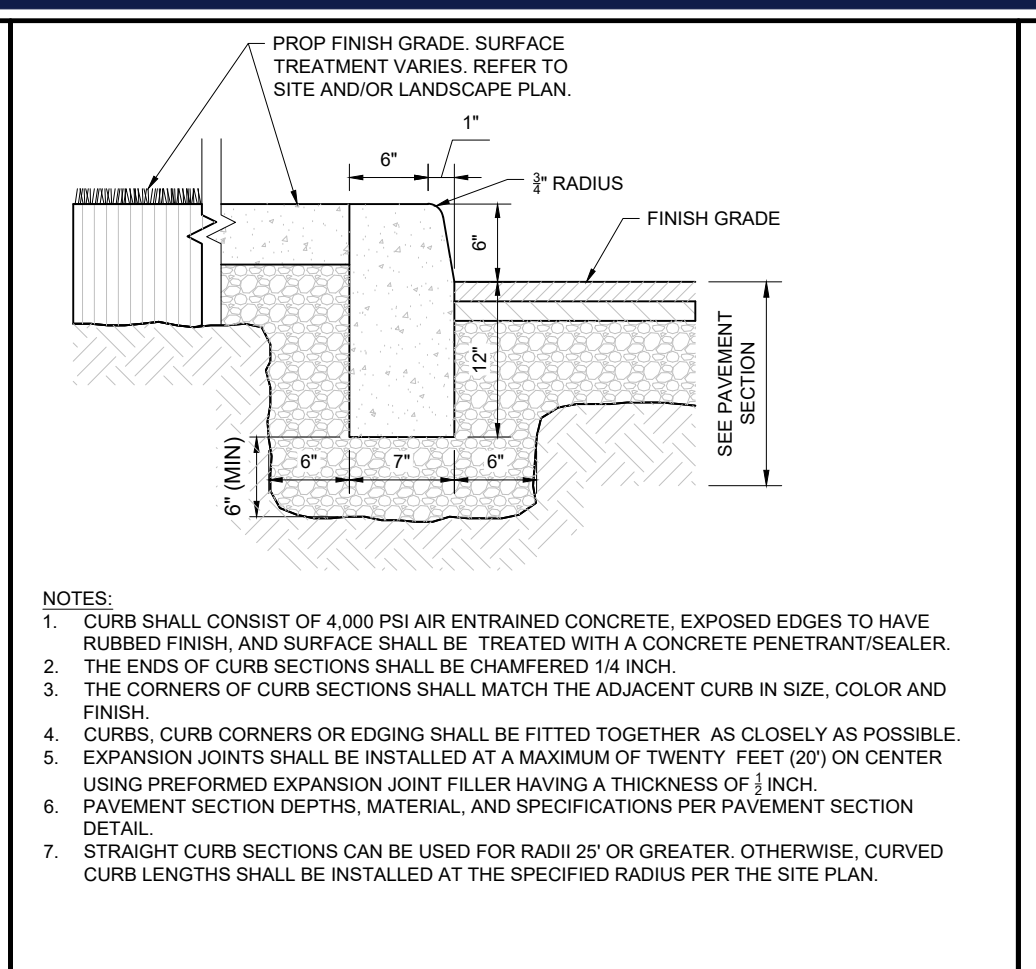
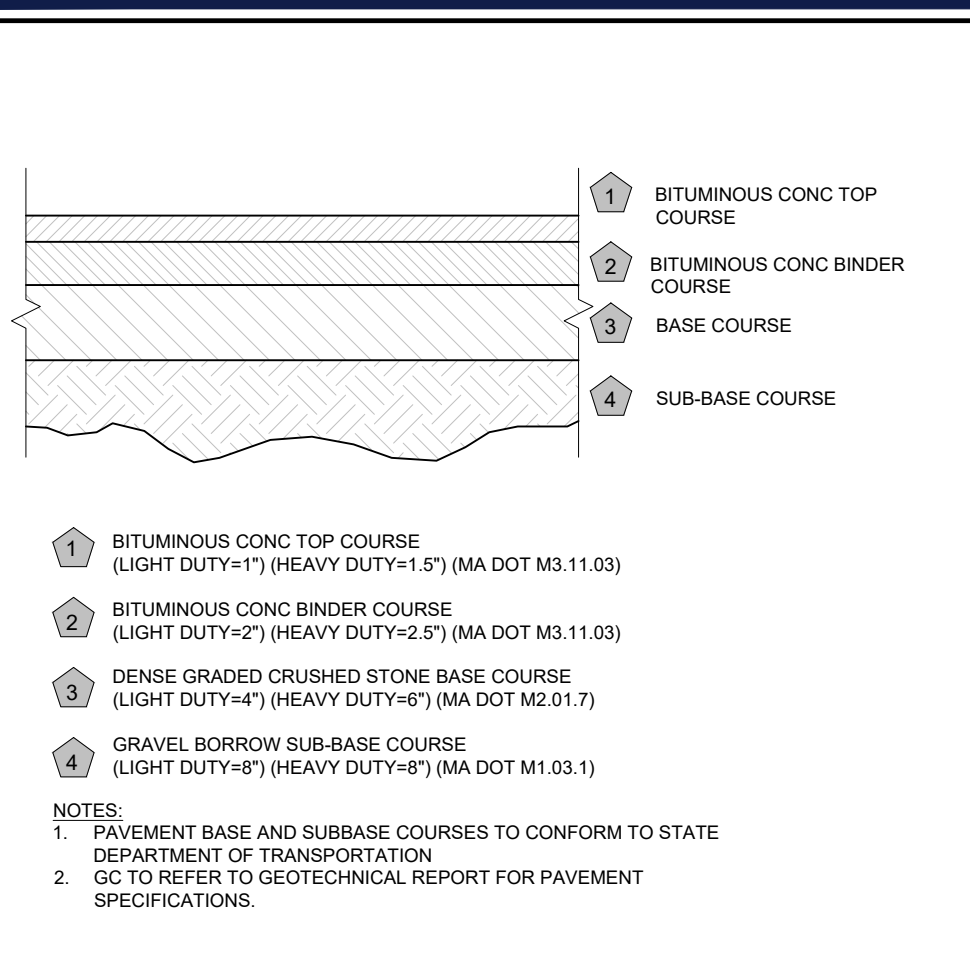


THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY AND IS INTENDED TO BE FILED WITH A COMPREHENSIVE PERMIT APPLICATION. THIS PLAN IS TO SHOW DESIGN INTENT ONLY AND IS NOT FOR CONSTRUCTION.

RESOURCE AREAS SHOWN PER ORDER OF RESOURCE AREA DELINEATION (ORAD) DEP FILE #95-0948



P:\2023\MAA230359\00\DRAWINGS\PLAN SET\CIVIL SITE PLANS\PROP-CIVIL-PROP-MAA230359.00-10B-10-J-LAYOUT-C501.UPL

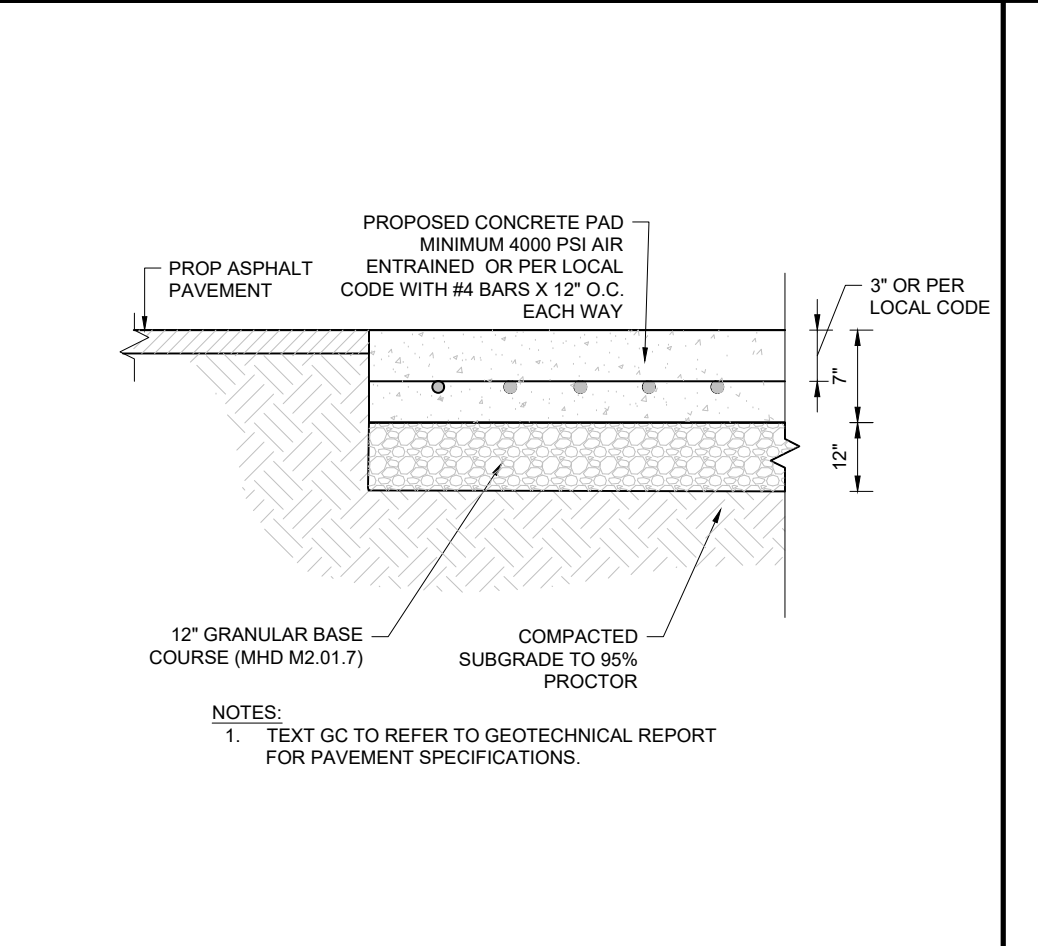
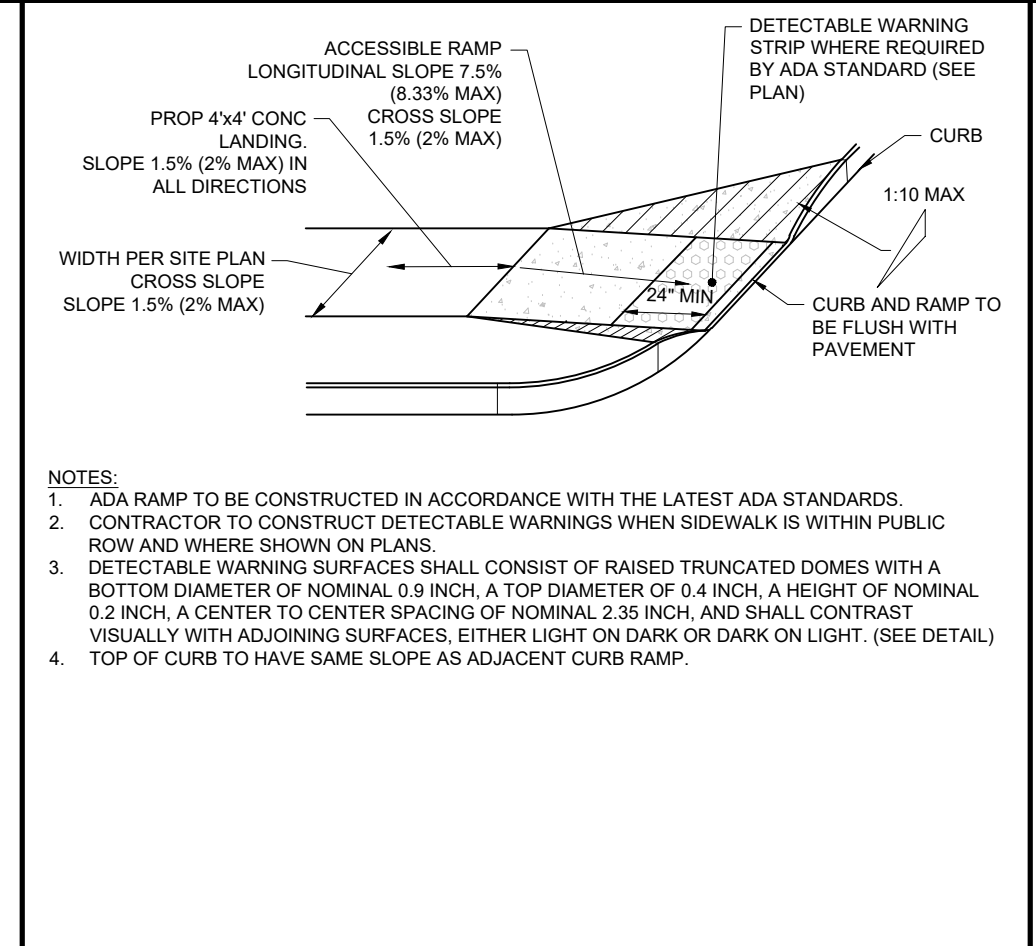
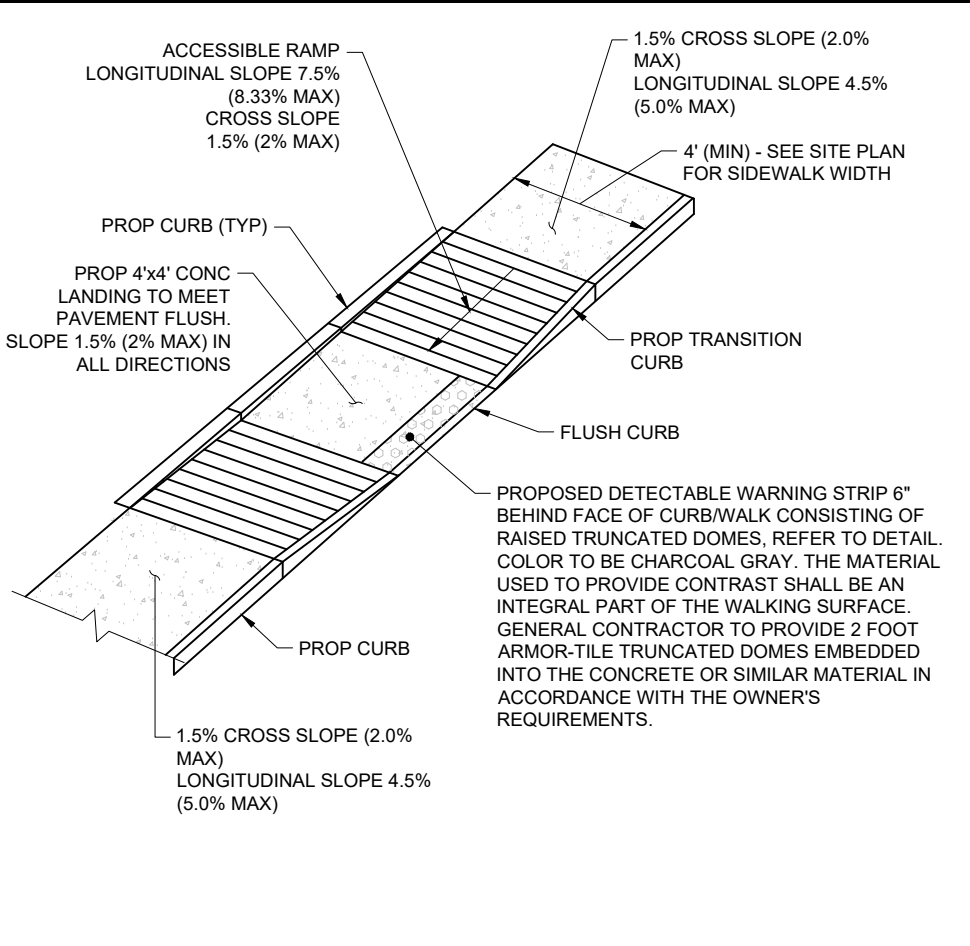
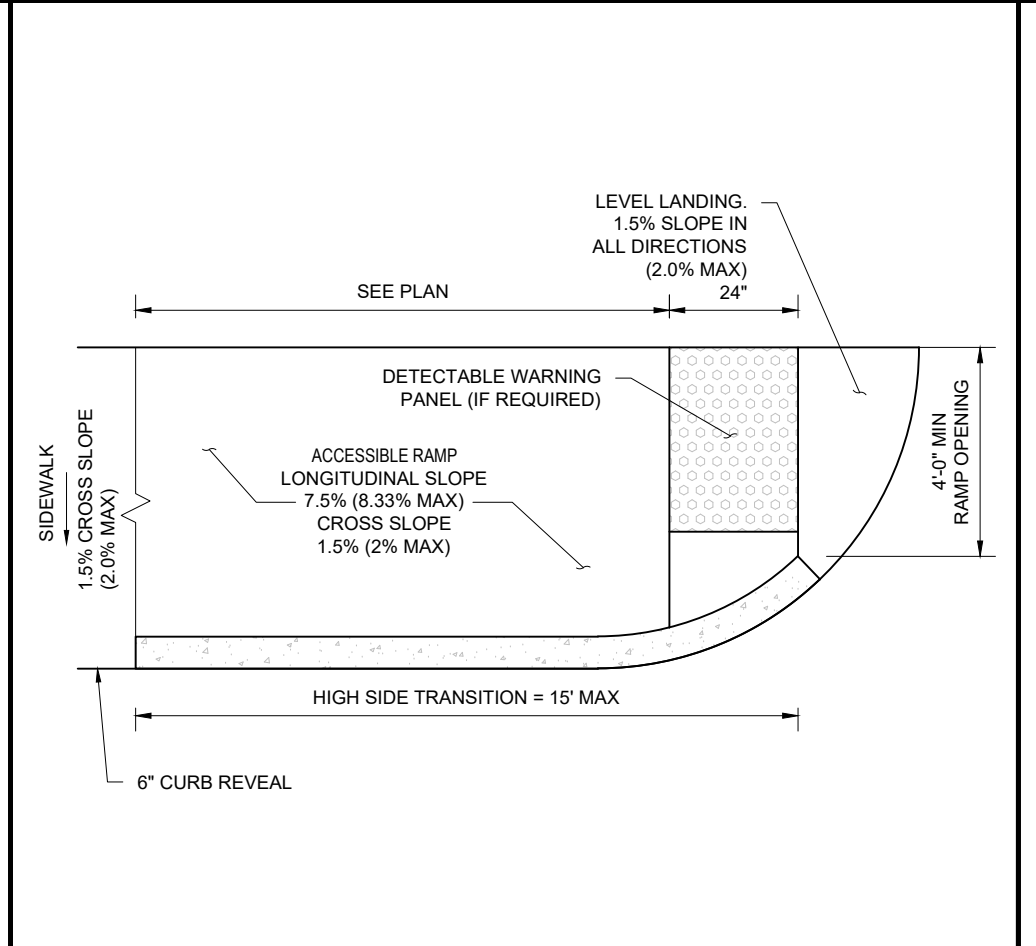
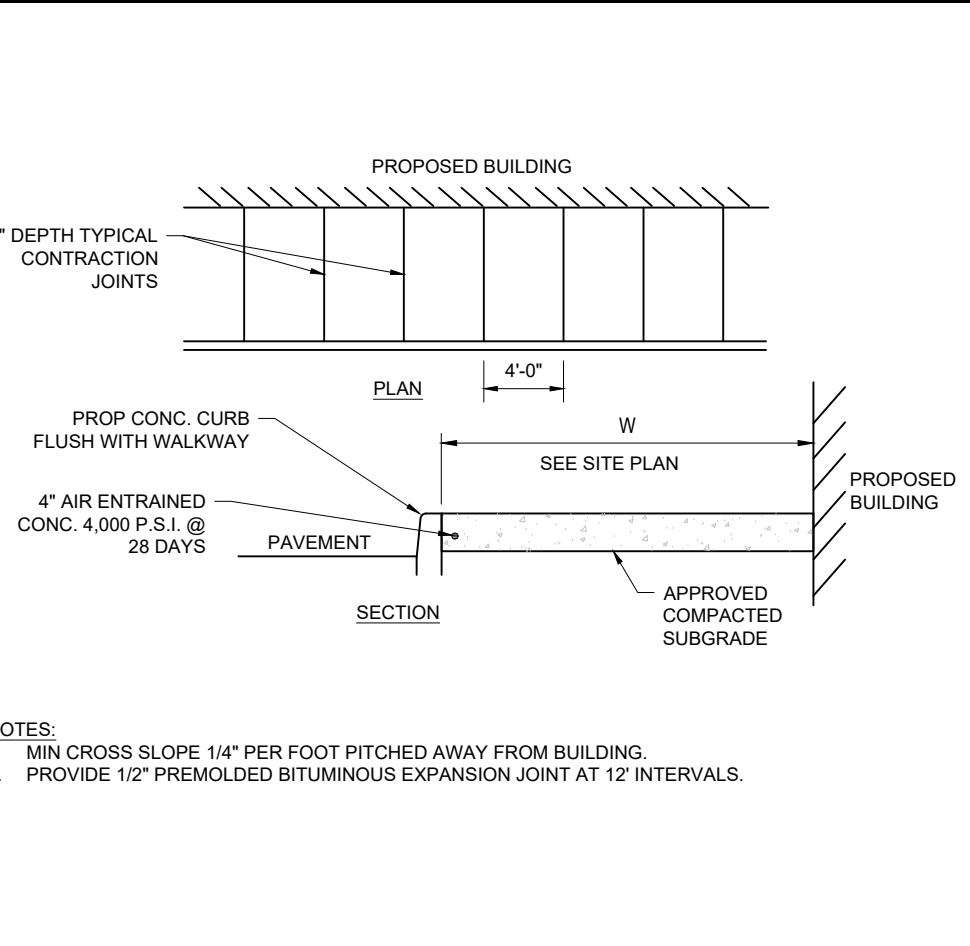


MASSACHUSETTS PAVEMENT SECTION
NOT TO SCALE (NE-S01013 - 10/2024)

PRECAST CONCRETE CURB
NOT TO SCALE (NE-S020201 - 10/2024)

PRECAST CONCRETE TRANSITION CURB
NOT TO SCALE (NE-S020206 - 09/2023)

CONCRETE SIDEWALK
NOT TO SCALE (NE-S030201 - 10/2024)



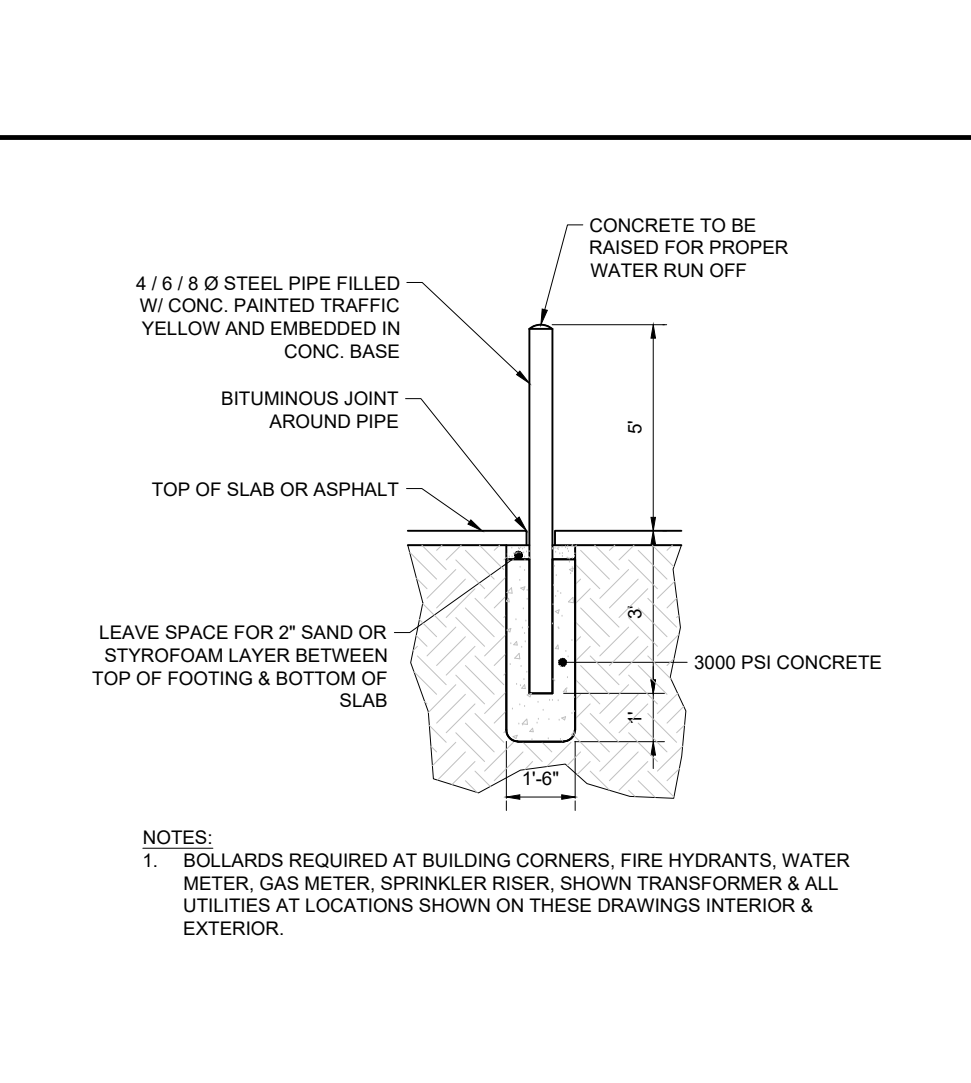
SIDEWALK ALONG BUILDING
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ACCESSIBLE RAMP TYPE A
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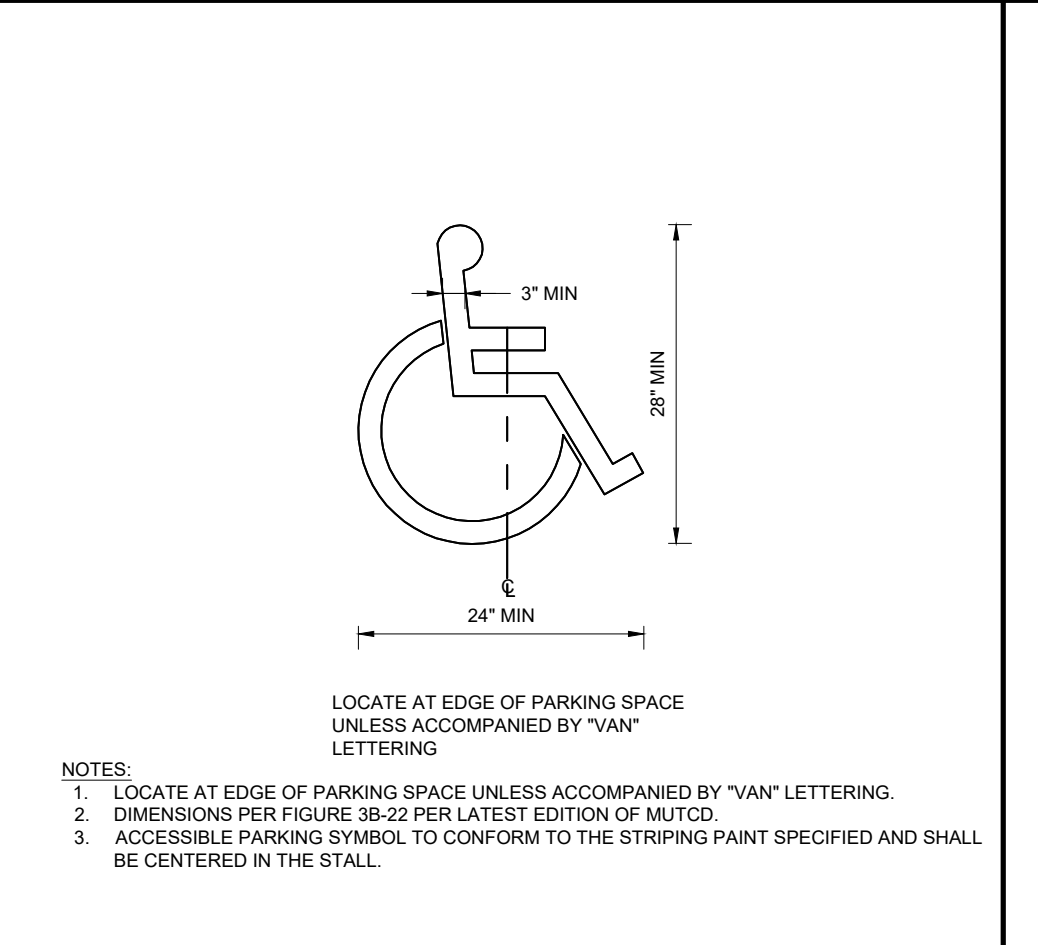
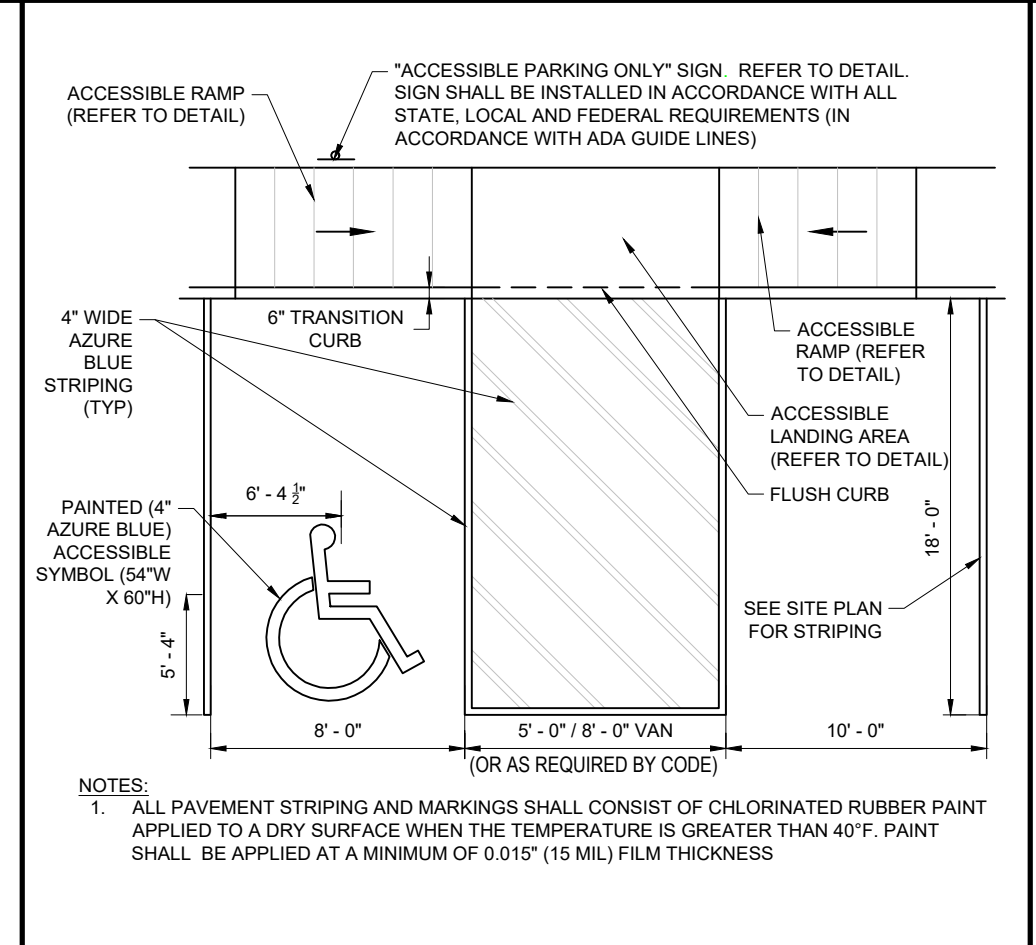
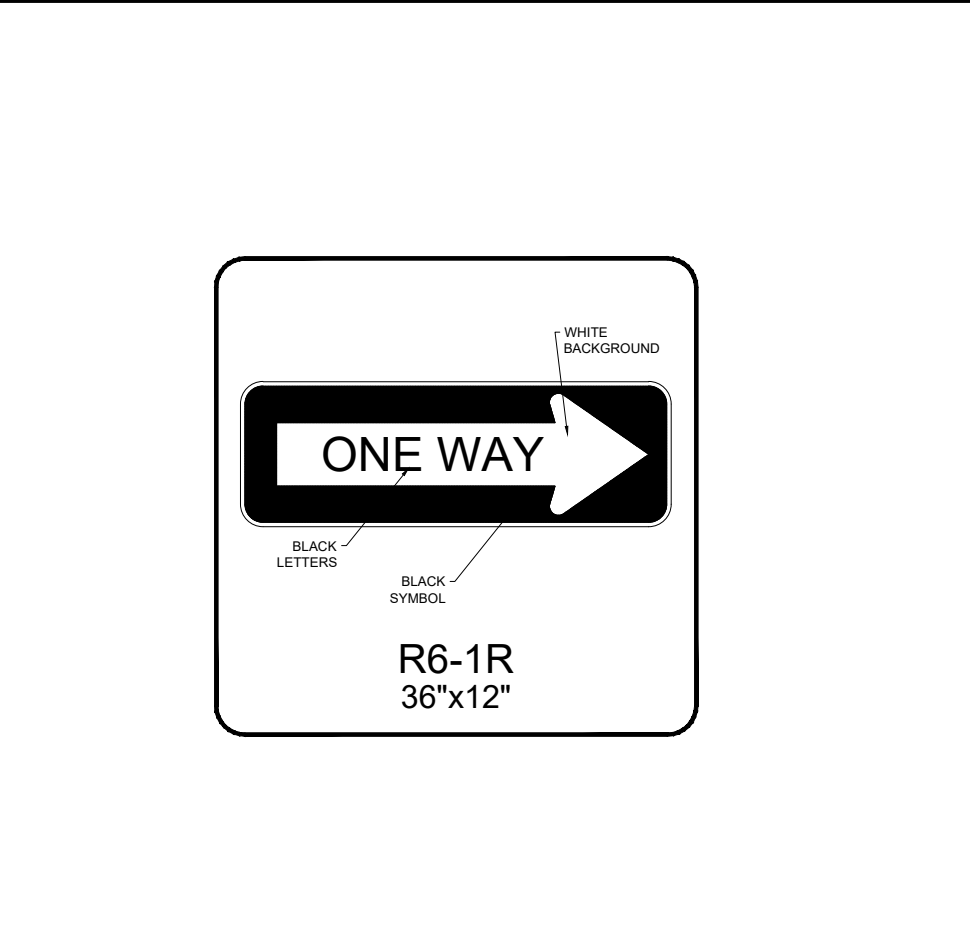
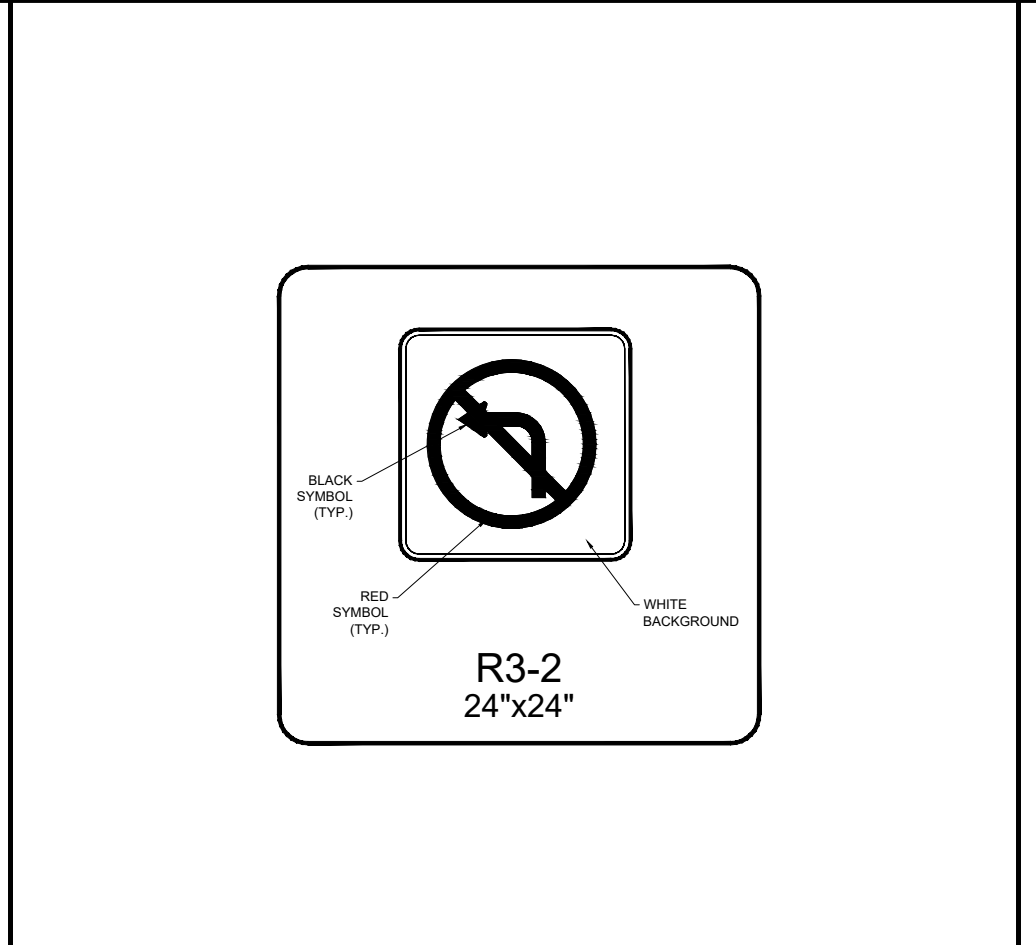
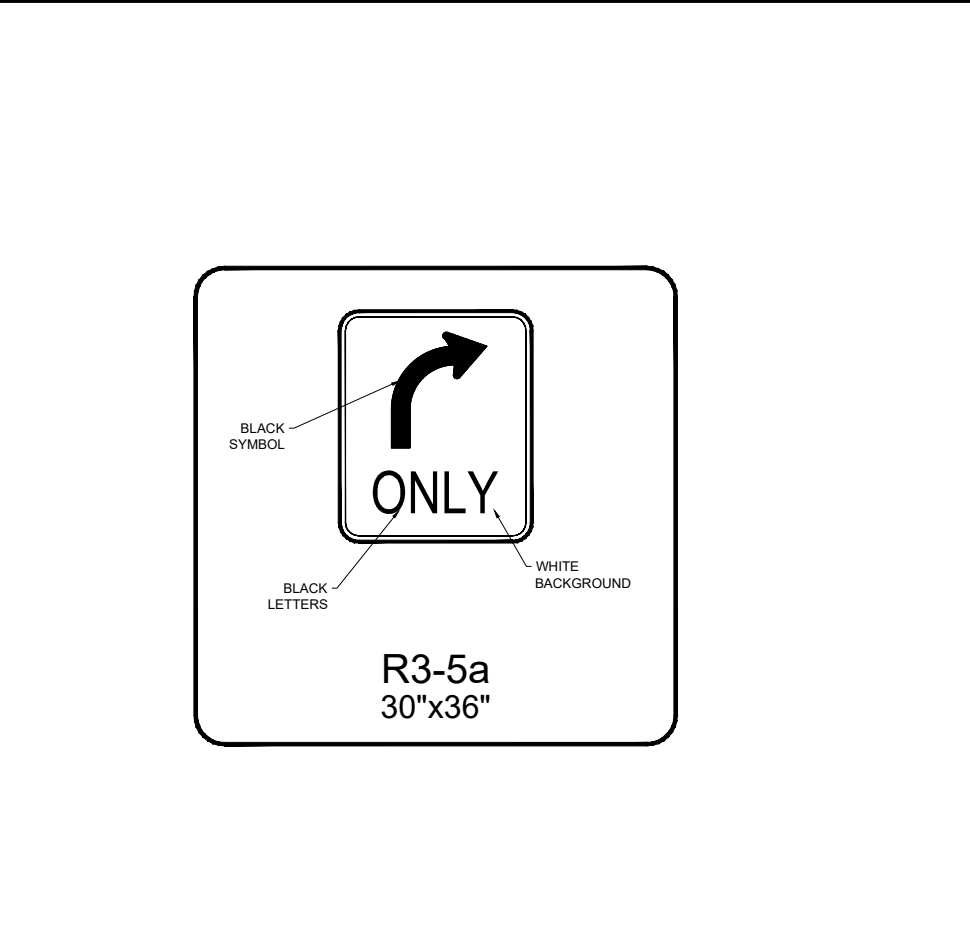
ACCESSIBLE RAMP TYPE B
NOT TO SCALE (NE-S030205 - 10/2024)

ACCESSIBLE RAMP TYPE C
NOT TO SCALE (NE-S030206 - 10/2024)

CONCRETE PAD
NOT TO SCALE (NE-S010701 - 09/2023)



BOLLARD
NOT TO SCALE (NE-S070101 - 09/2023)



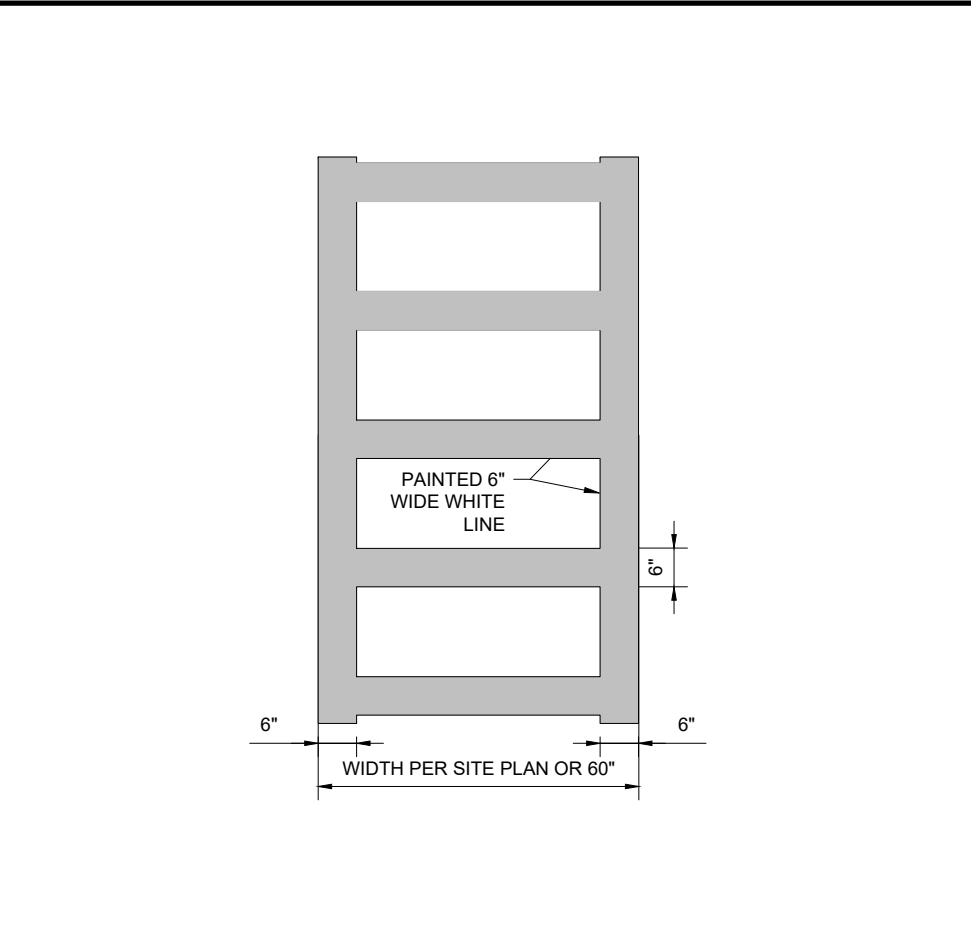
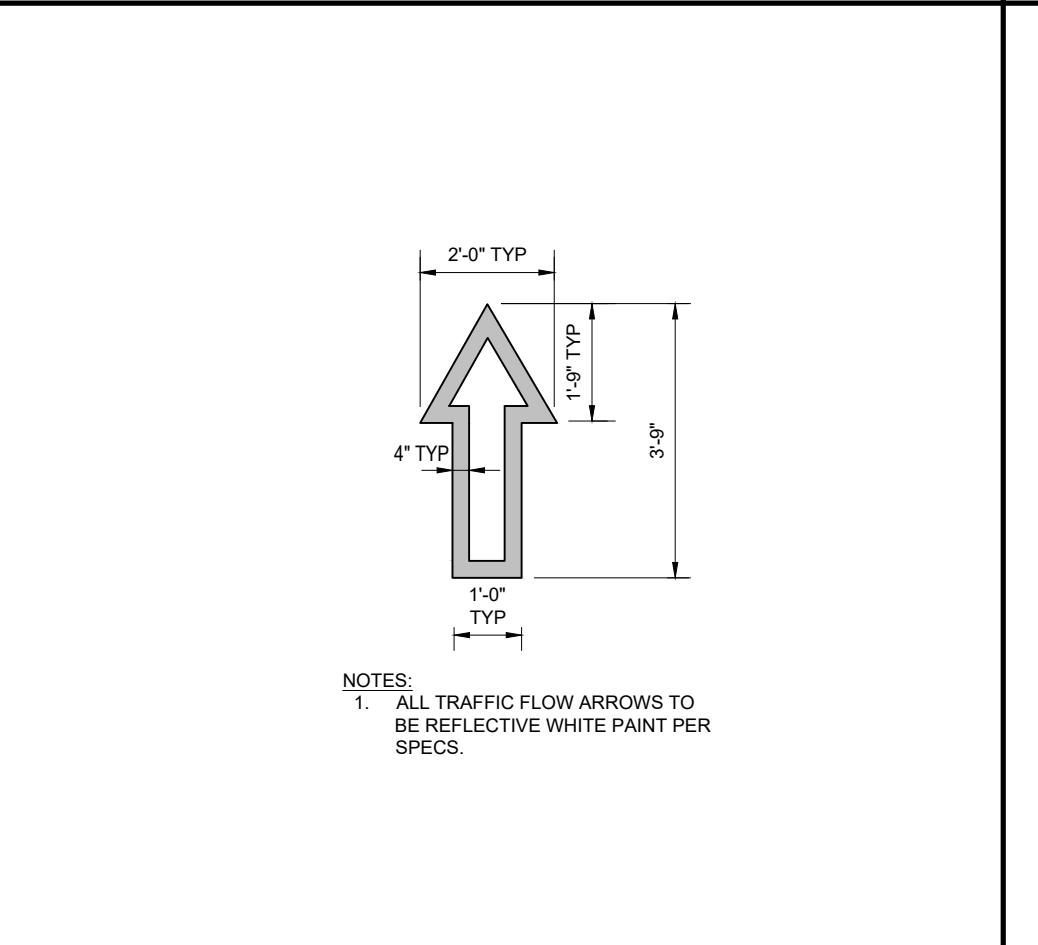
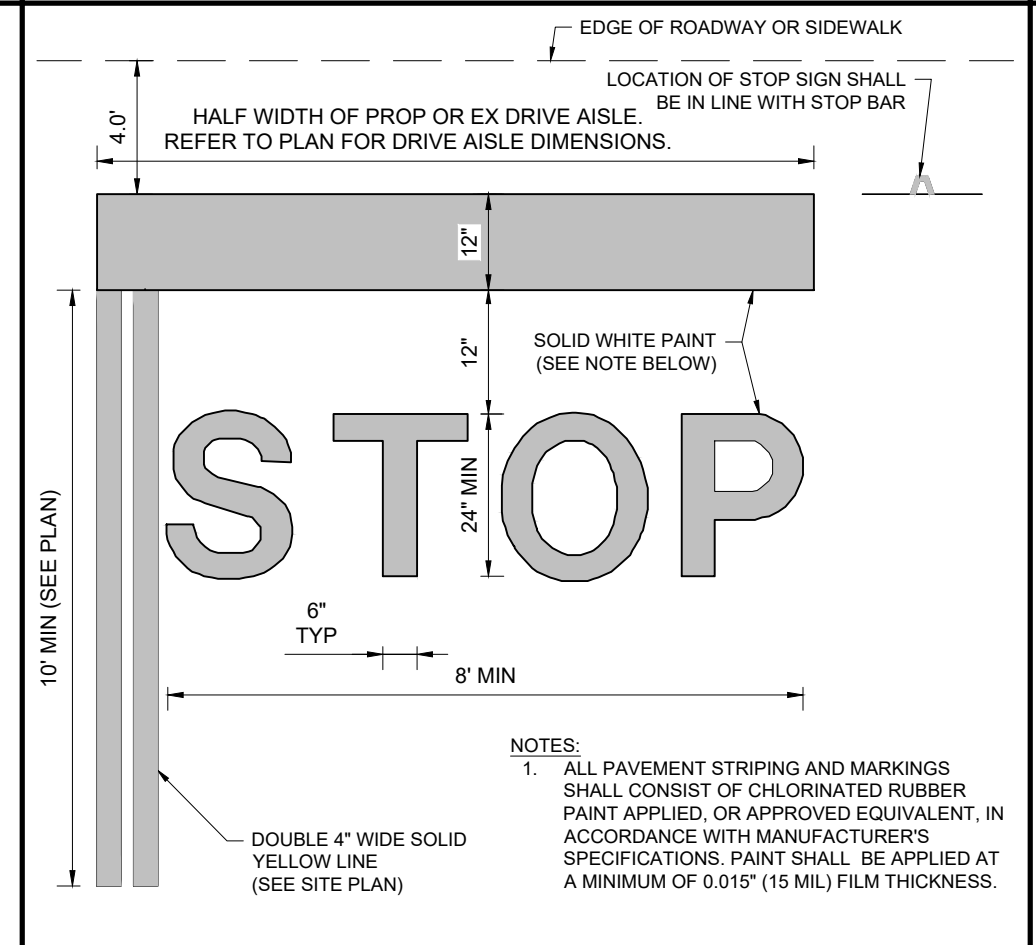
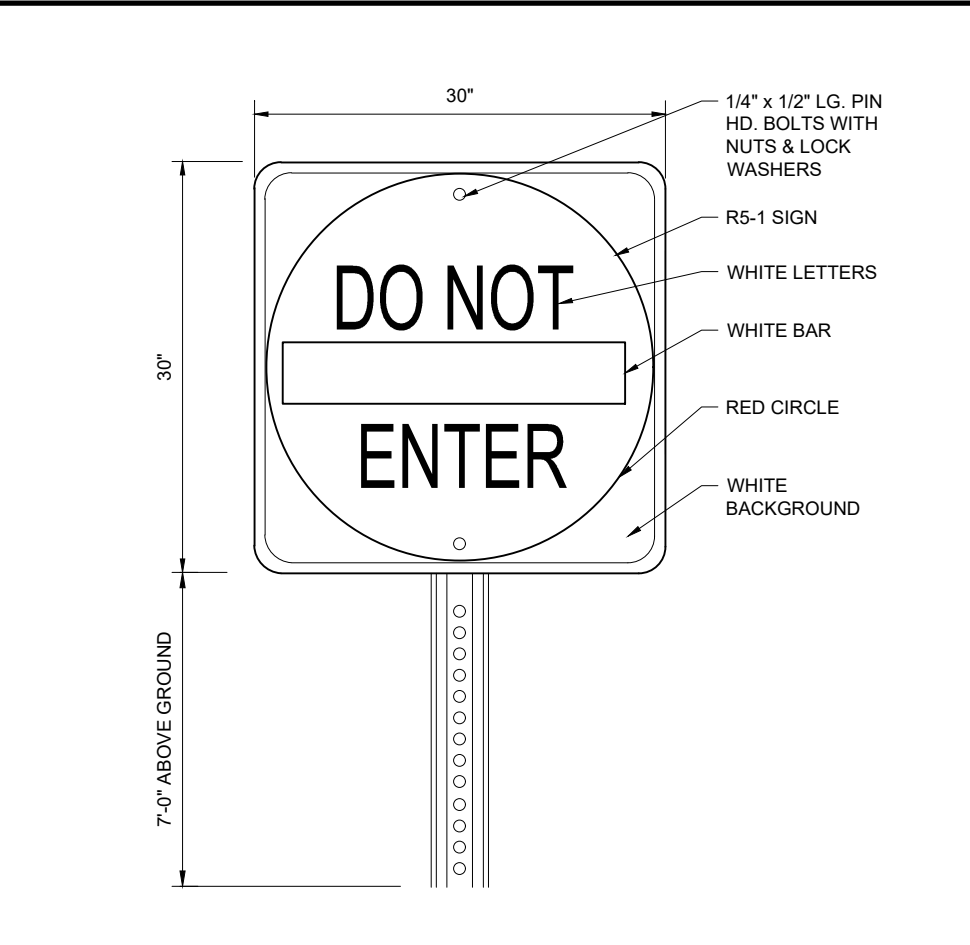
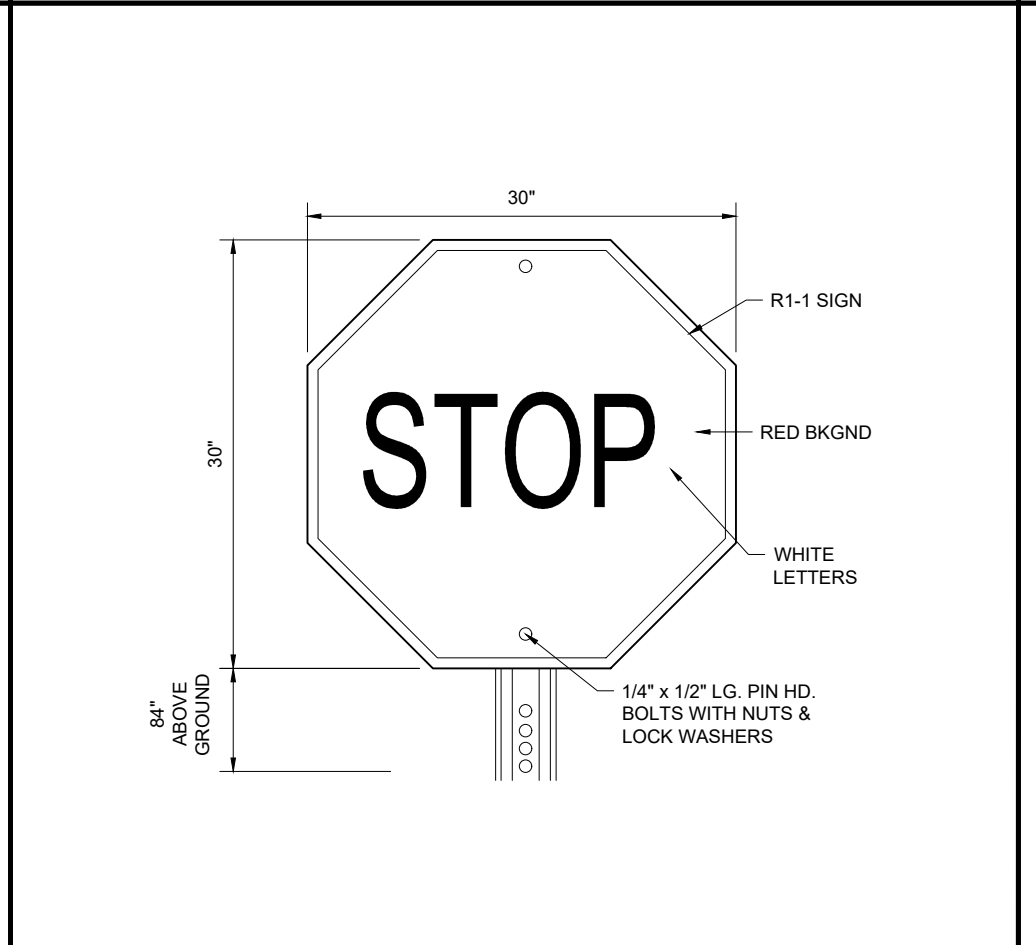
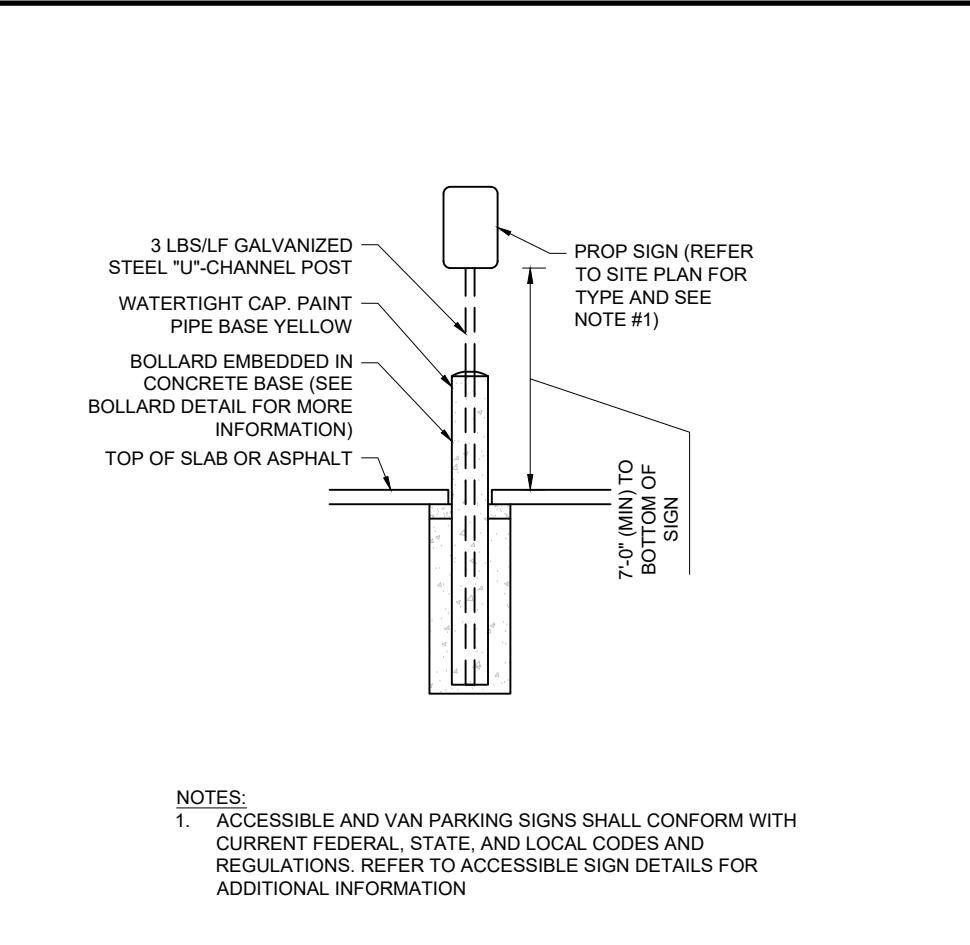
RIGHT TURN ONLY SIGN
NOT TO SCALE (NE-S060202 - 09/2023)

NO LEFT TURN SIGN
NOT TO SCALE (NE-S060202 - 09/2023)

ONE WAY SIGN
NOT TO SCALE (NE-S060202 - 09/2023)

ACCESSIBLE PARKING STALL
NOT TO SCALE (NE-S050101 - 10/2024)

ACCESSIBLE PARKING SYMBOL
NOT TO SCALE (NE-S050102 - 10/2024)



SIGN IN BOLLARD
NOT TO SCALE (NE-S060201 - 12/2024)

STOP SIGN
NOT TO SCALE (NE-S060202 - 09/2023)

DO NOT ENTER SIGN
NOT TO SCALE (NE-S060203 - 09/2023)

STOP BAR
NOT TO SCALE (NE-S050301 - 12/2024)

TRAFFIC FLOW ARROW
NOT TO SCALE (NE-S060302 - 10/2024)

CROSSWALK LADDER
NOT TO SCALE (NE-S050401 - 07/2024)

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
2	08/01/2024	COMPREHENSIVE PERMIT	JAK	LEC
3	02/25/2025	TRAFFIC COMMENTS	JAK	EKR
4	03/12/2025	RESPONSE TO HANCOCK COMMENTS	JAK	EKR
5	03/19/2025	REVS TO DRIVEWAY & GARAGE	JAK	EKR
6	04/29/2025	RESPONSE TO MDM & HANCOCK	JAK	EKR
7	06/04/2025	290' SIGHT DISTANCE	JAK	EKR
8	08/07/2025	220' SIGHT DISTANCE	JAK	EKR
9	09/16/2025	PLAN SET OF RECORD	JAK	EKR
10	12/18/2025	NOTICE OF INTENT SUBMISSION	JAK	EKR

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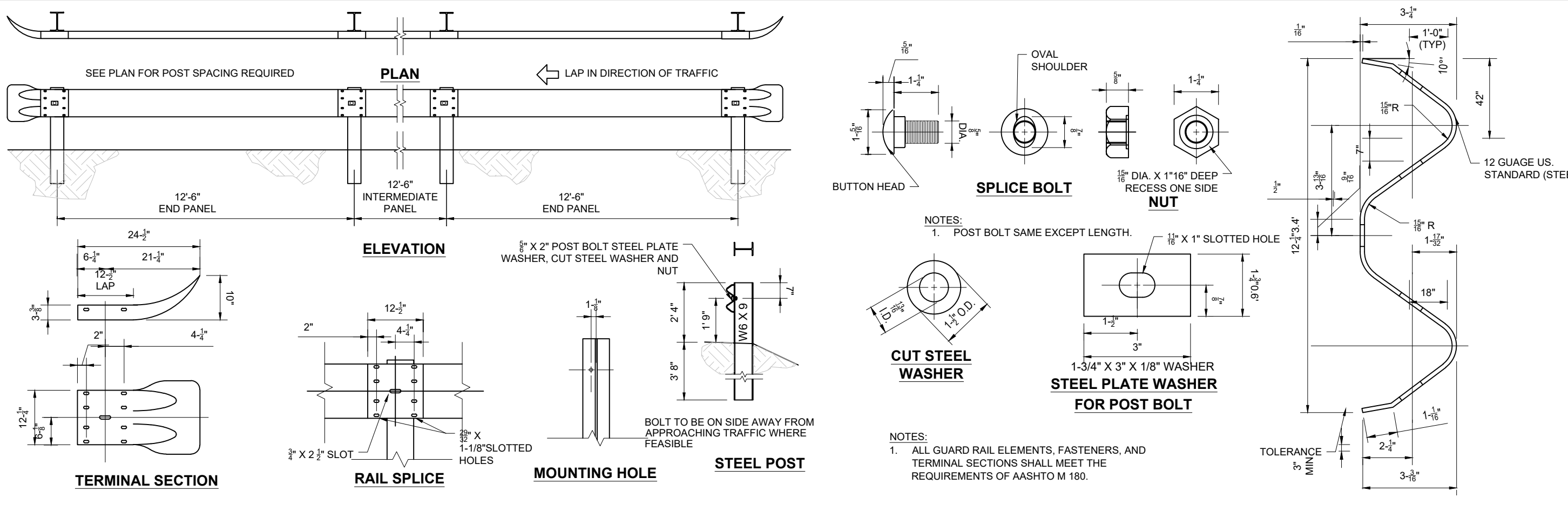
PRELIMINARY SITE DEVELOPMENT PLANS
FOR
SLV ASHLAND, LLC
PROPOSED 40B DEVELOPMENT "THE SANCTUARY AT ASHLAND MILLS"
MAP: 14 | LOT: 128
50 MAIN STREET
TOWN OF ASHLAND MASSACHUSETTS

BOHLER
352 TURNPIKE ROAD, 3rd FLOOR
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

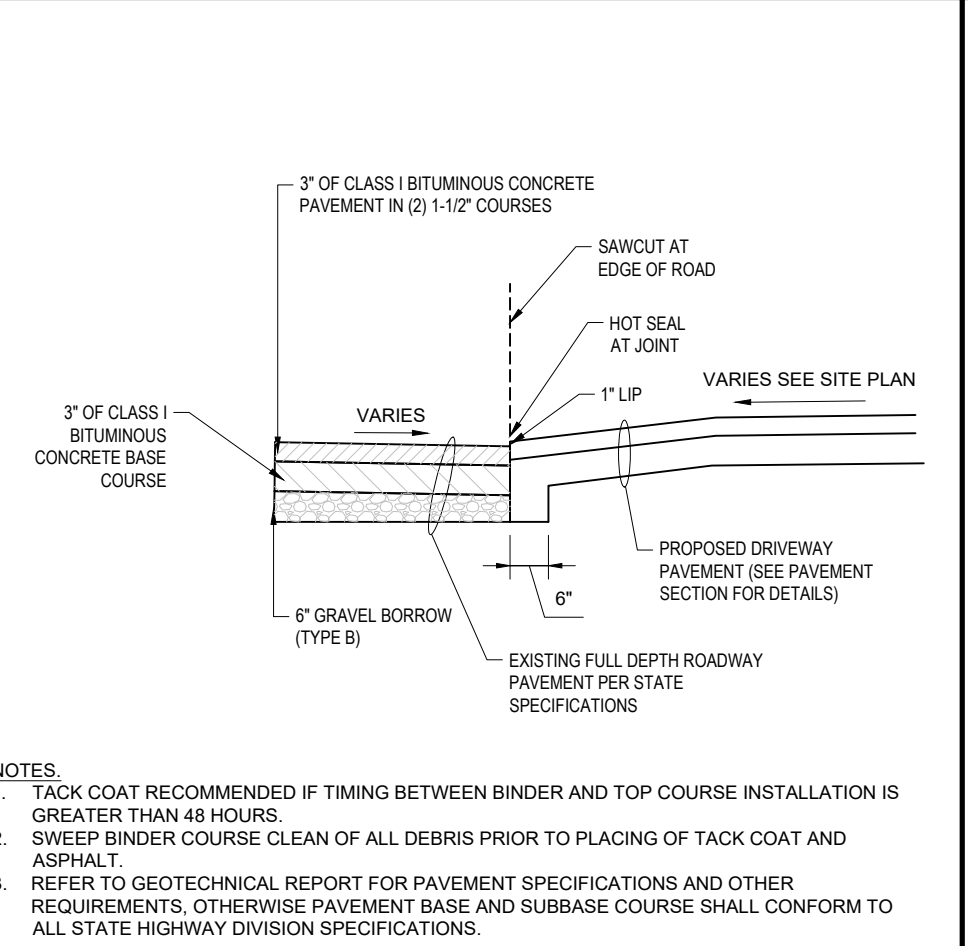
J.A. KUCICH
Professional Engineer
MASSACHUSETTS REG. NO. 11810
NEW HAMPSHIRE REG. NO. 15476
CONNECTICUT REG. NO. 15476
RHODE ISLAND REG. NO. 9618
MAINE LICENSE NO. 1255

SHEET TITLE:
CONSTRUCTION DETAILS
SHEET NUMBER:
C-901
REVISION 10 - 12/18/2025

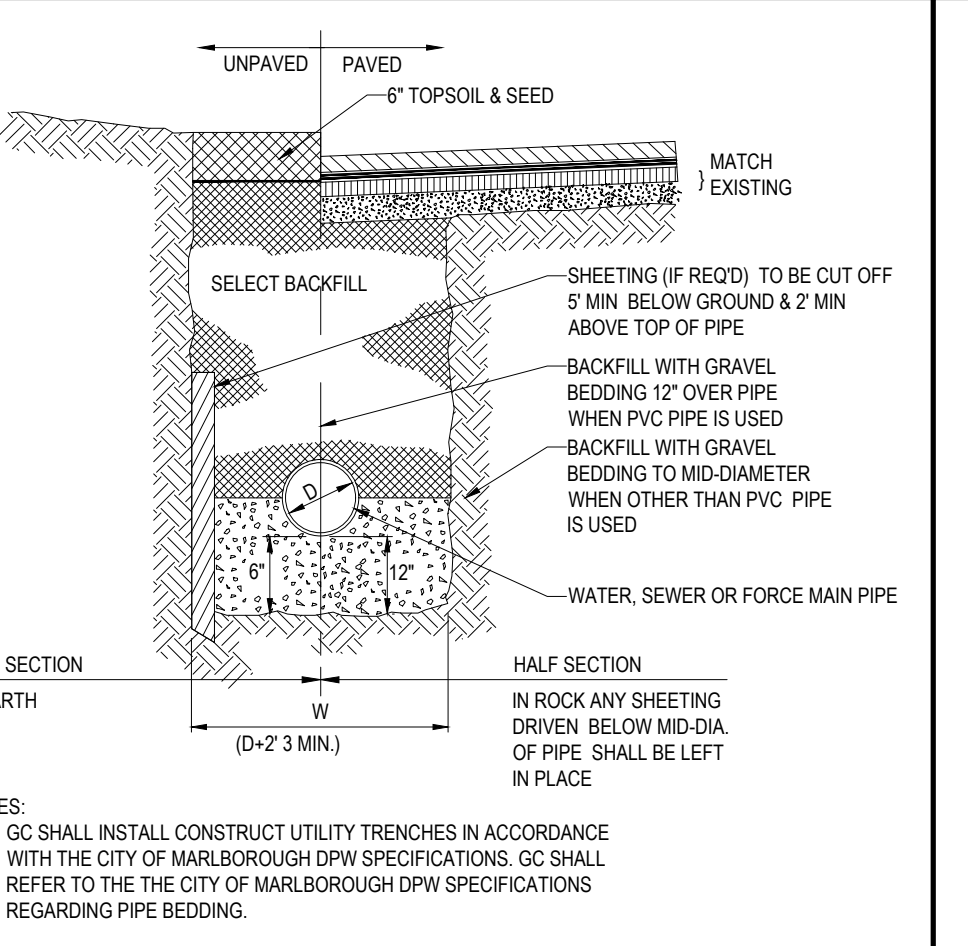
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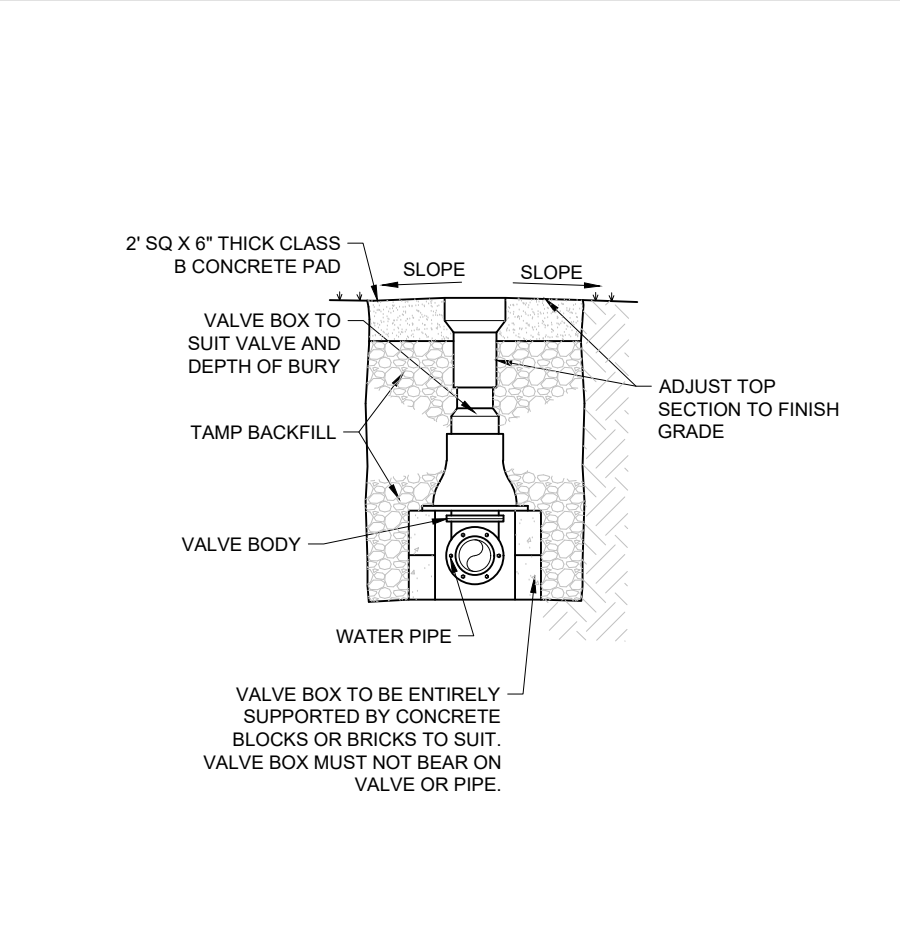
METAL GUIDERAIL
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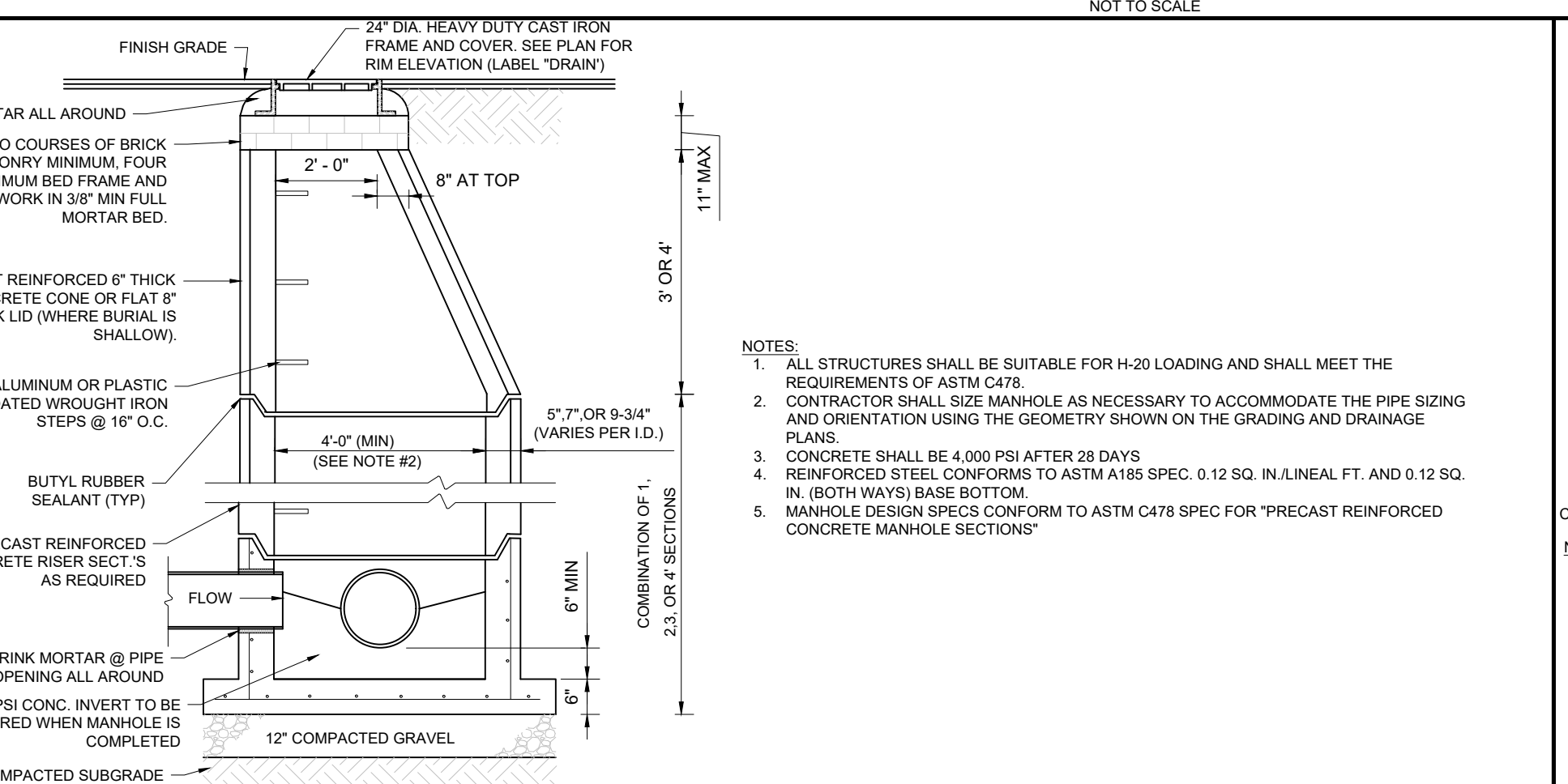
DRIVEWAY CONSTRUCTION
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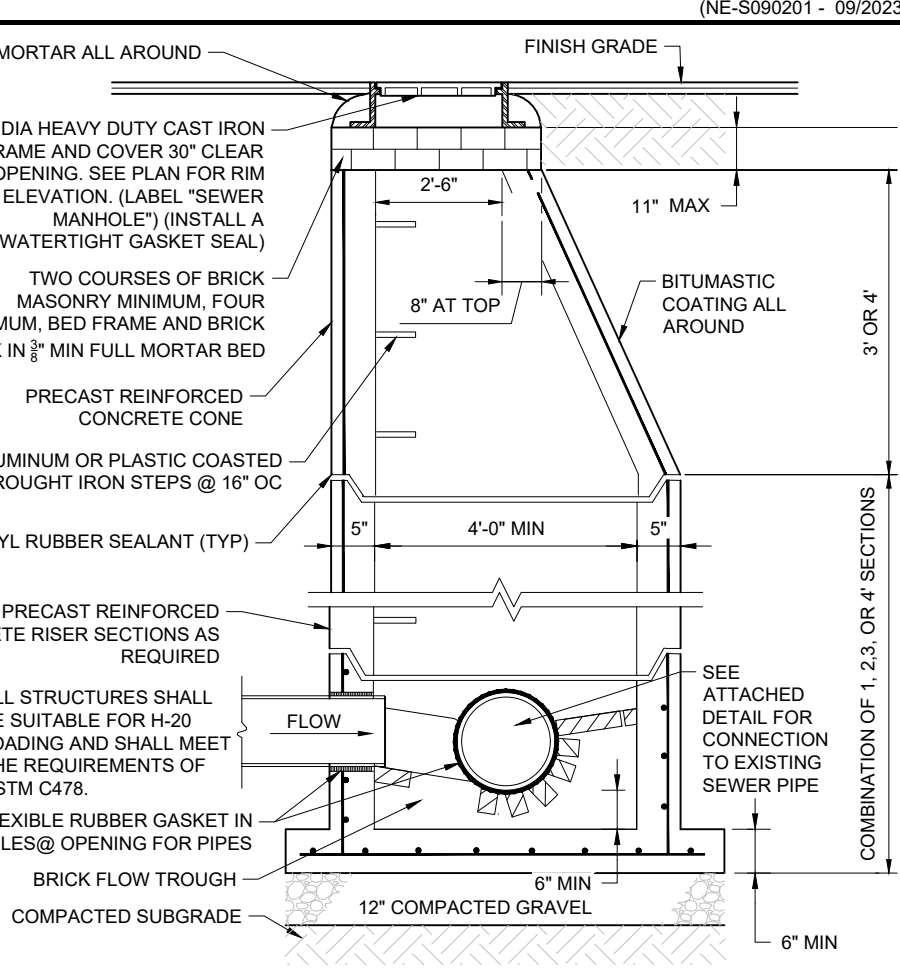
TYPICAL UTILITY TRENCH
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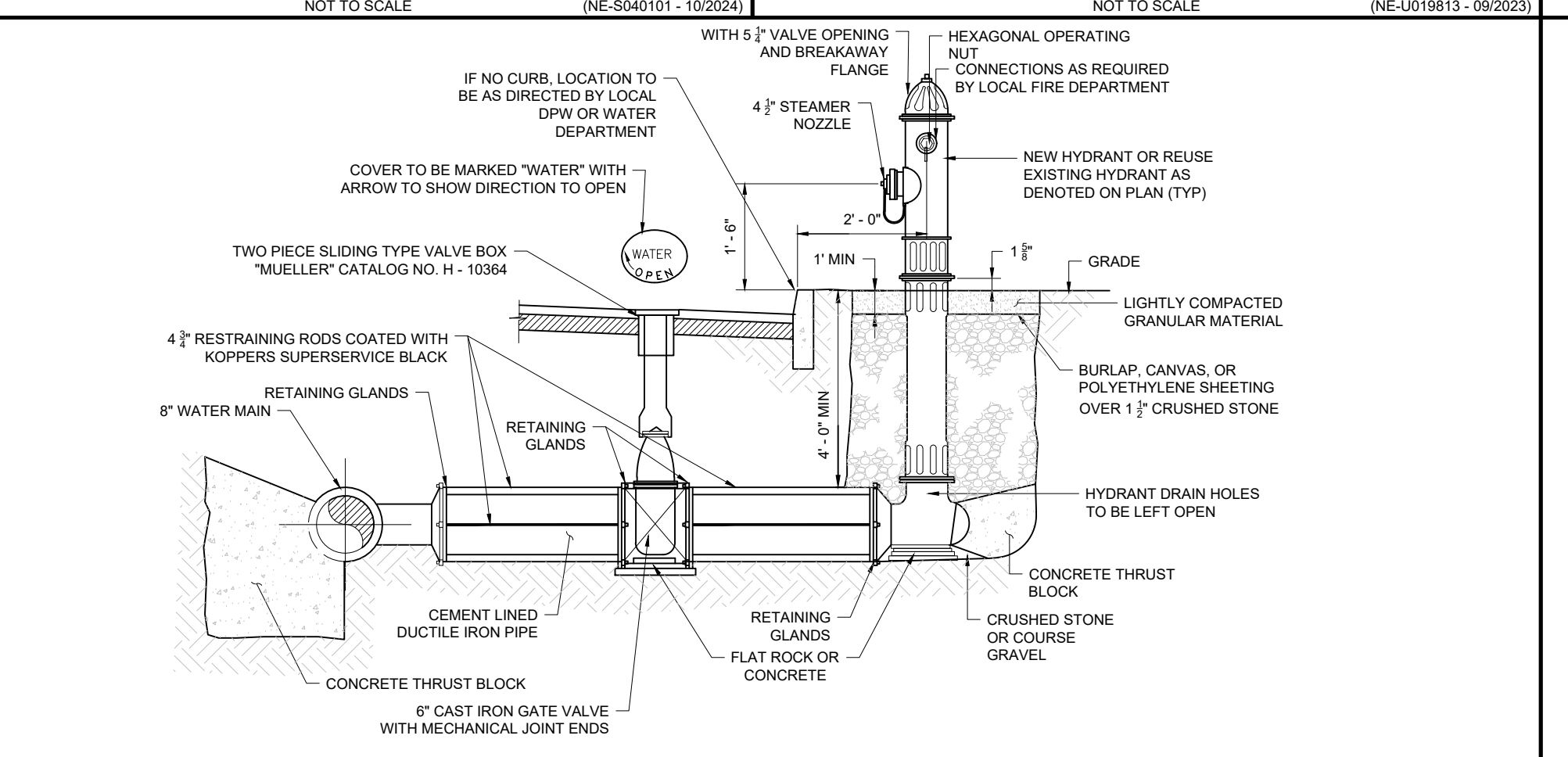
GATE VALVE
NOT TO SCALE (NE-U030201 - 09/2023)



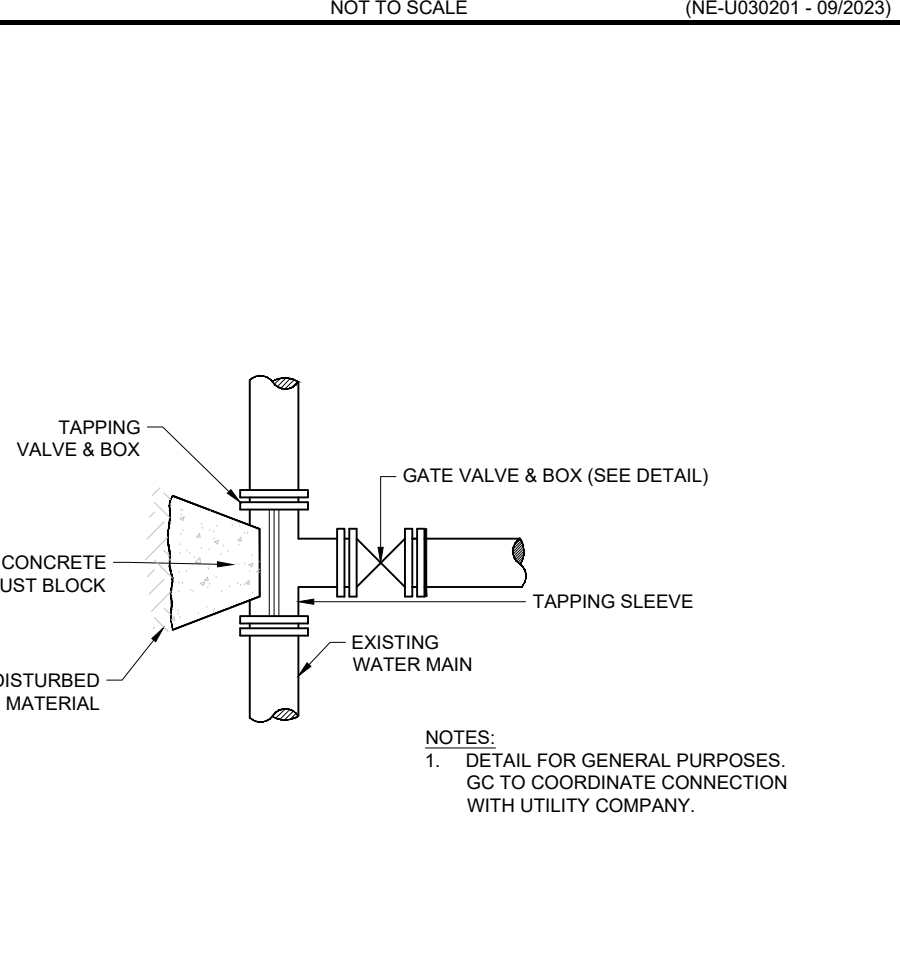
PRECAST CONCRETE STORM DRAIN MANHOLE
NOT TO SCALE (NE-U010101 - 05/2024)



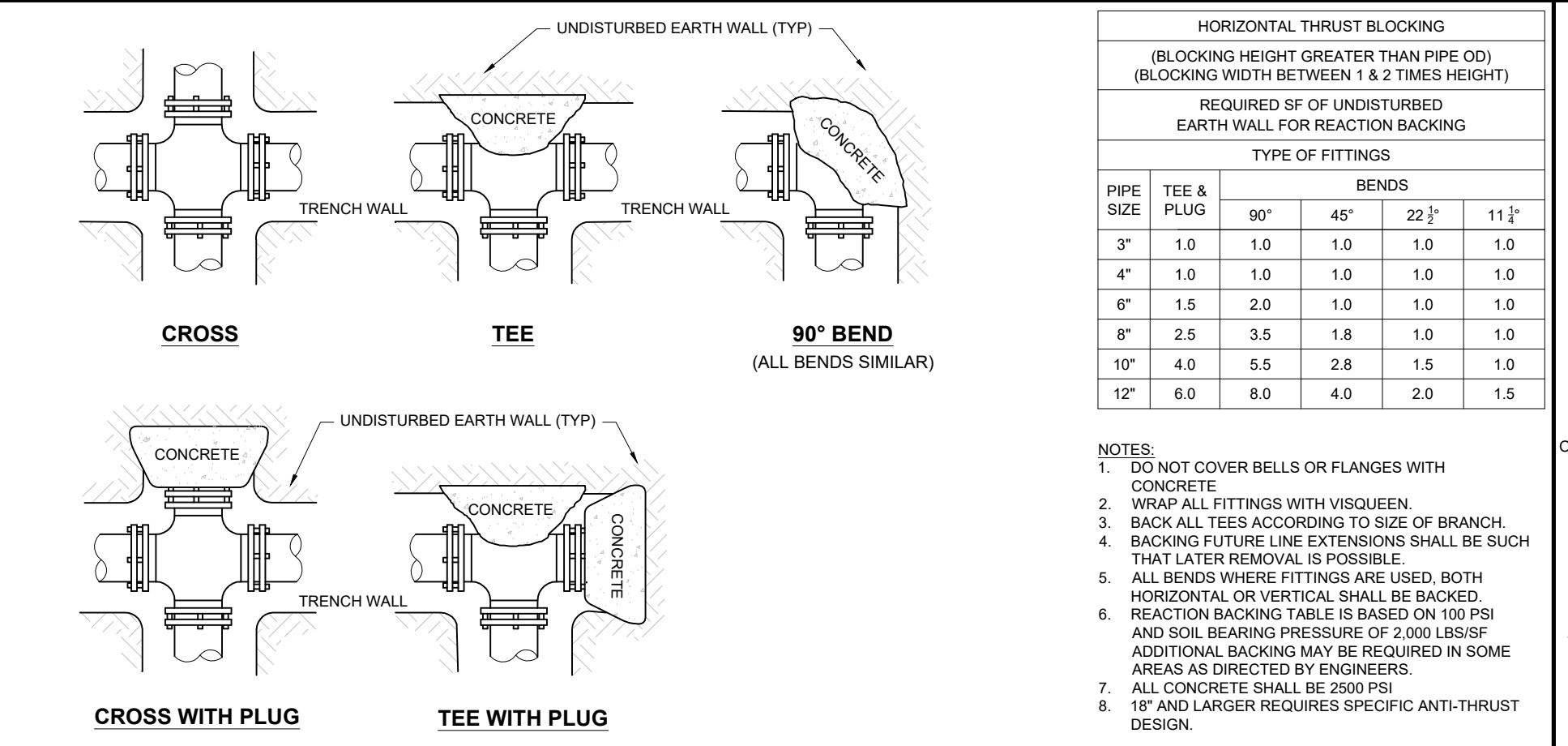
PRECAST CONCRETE SANITARY MANHOLE
NOT TO SCALE (NE-U020101 - 11/2024)



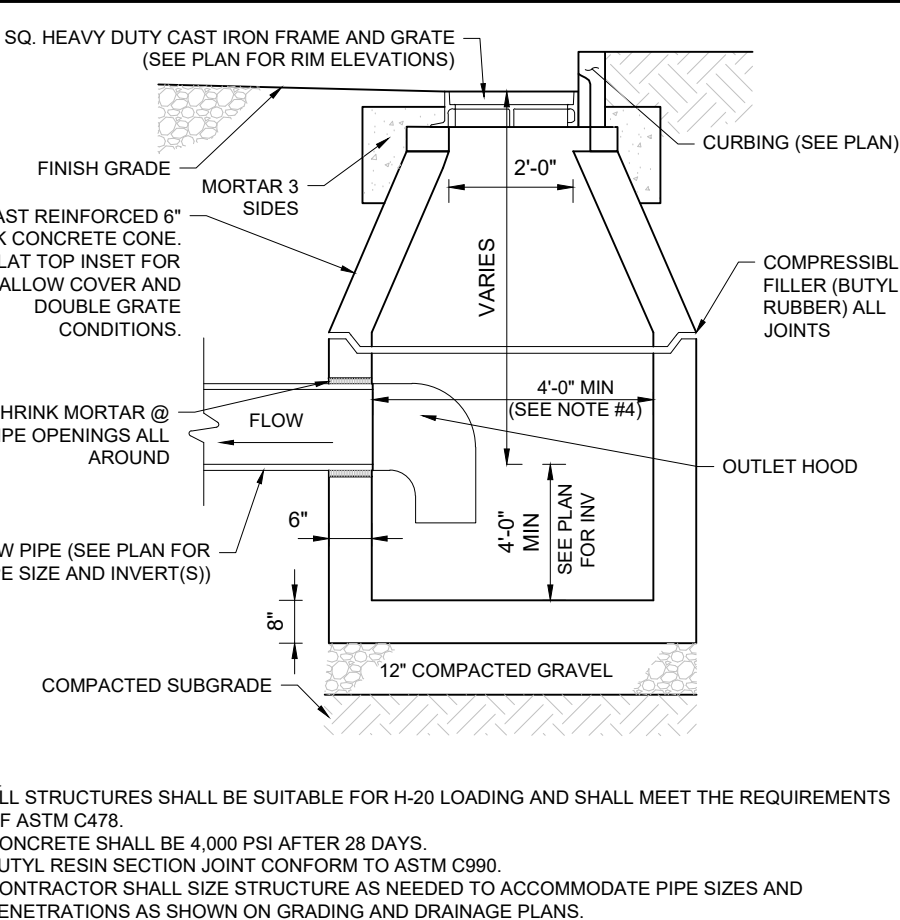
HYDRANT AND VALVE INSTALLATION
NOT TO SCALE (NE-U030101 - 11/2024)



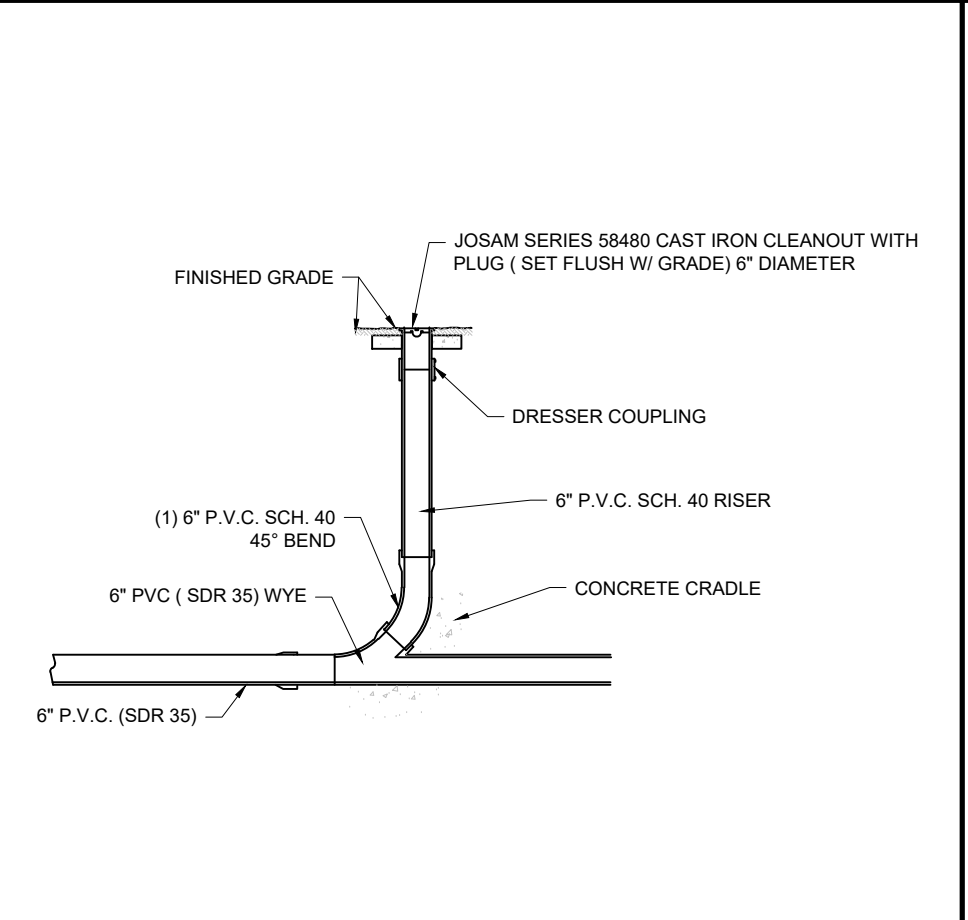
TAPPING SLEEVE AND GATE VALVE
NOT TO SCALE (NE-U030401 - 11/2024)



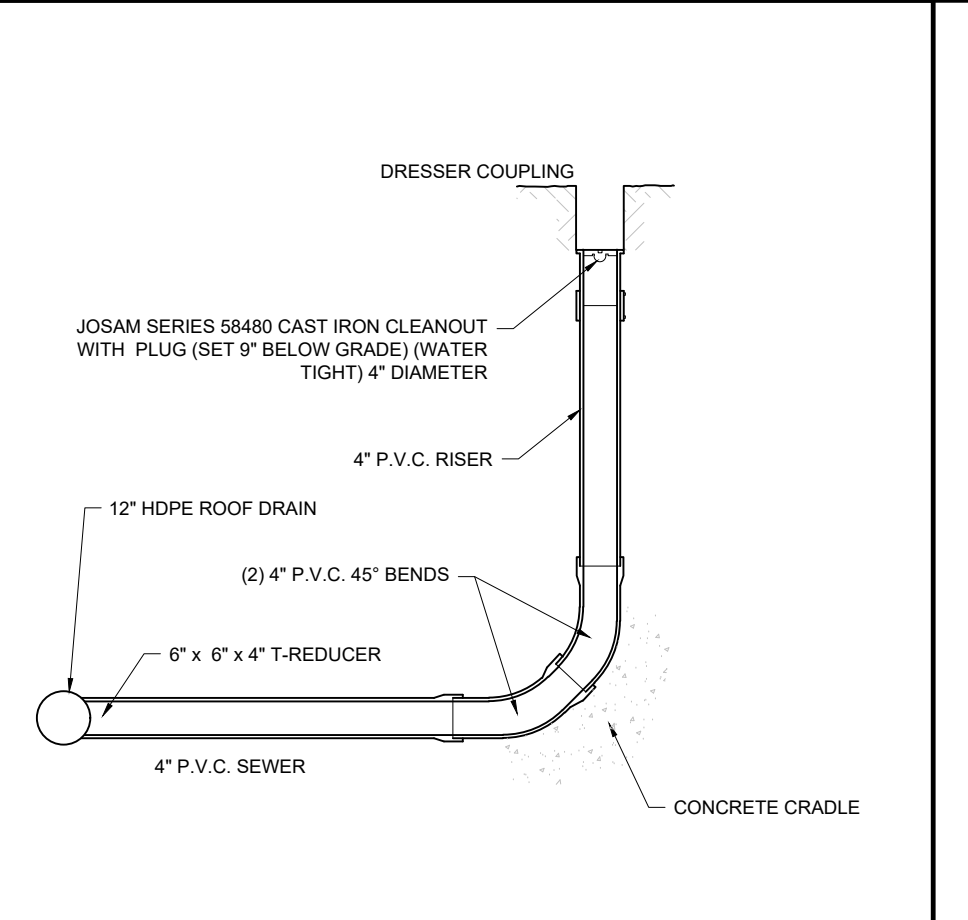
HORIZONTAL THRUST BLOCKING
NOT TO SCALE (NE-U030501 - 11/2024)



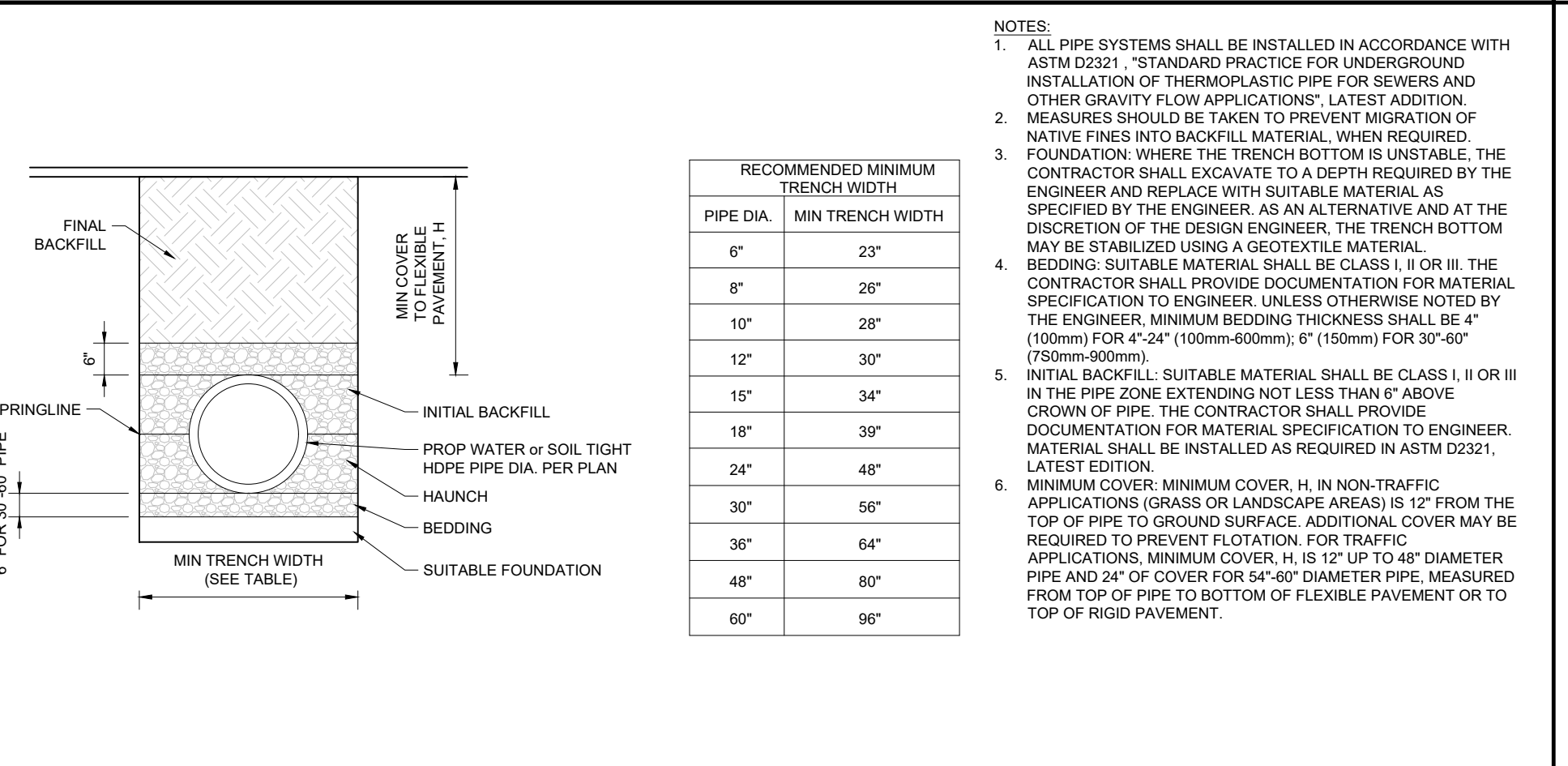
PRECAST CONCRETE DEEP SUMP CATCH BASIN
NOT TO SCALE (NE-U010201 - 02/2025)



CLEANOUT (IN-LINE)
NOT TO SCALE (NE-U010302 - 09/2023)



CLEANOUT (TERMINAL)
NOT TO SCALE (NE-U010301 - 09/2023)



HDPE STORM PIPE TRENCH
NOT TO SCALE (NE-U019812 - 09/2023)

REVISIONS

REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	08/01/2024	COMPREHENSIVE PERMIT	JAK	CSE
2	02/25/2025	TRAFFIC COMMENTS	JAK	LEC
3	03/12/2025	RESPONSE TO HANCOCK COMMENTS	JAK	EKR
4	03/19/2025	REVS TO DRIVEWAY & GARAGE	JAK	EKR
5	04/29/2025	RESPONSE TO MDM & HANCOCK	JAK	EGD
6	06/04/2025	290' SIGHT DISTANCE	JAK	CSE
7	08/07/2025	220' SIGHT DISTANCE	JAK	EGD
8	09/16/2025	PLAN SET OF RECORD	JAK	CSE
9	12/18/2025	NOTICE OF INTENT SUBMISSION	JAK	EGD

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PROJECT No.: MAA230359.00-10B
 DRAWN BY: CSE
 CHECKED BY: JAK
 DATE: 02/25/2025
 CAD ID: P-CIVL-CND5

PRELIMINARY SITE DEVELOPMENT PLANS

FOR

SLV ASHLAND, LLC

PROPOSED 40B DEVELOPMENT "THE SANCTUARY AT ASHLAND MILLS"

MAP: 14 | LOT: 128
 50 MAIN STREET
 TOWN OF ASHLAND
 MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD, 3rd FLOOR
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900

www.BohlerEngineering.com

SHEET TITLE:

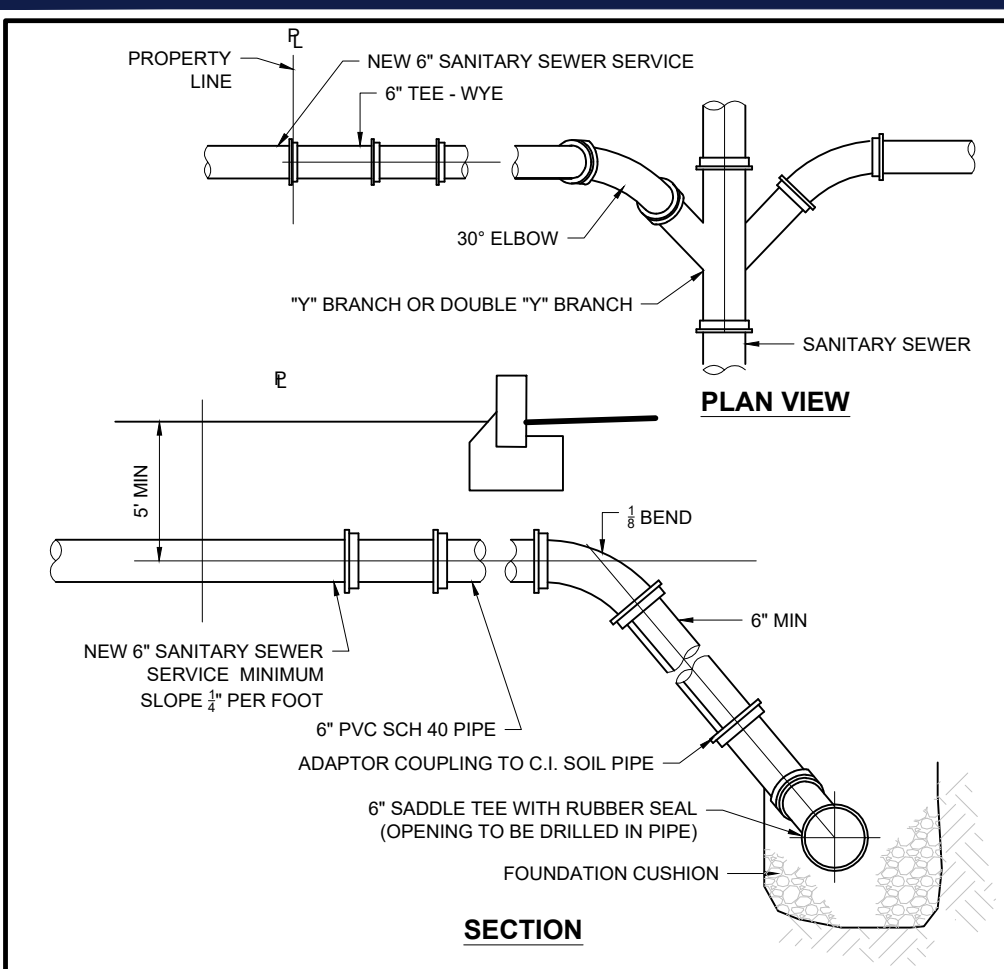
CONSTRUCTION DETAILS

SHEET NUMBER:

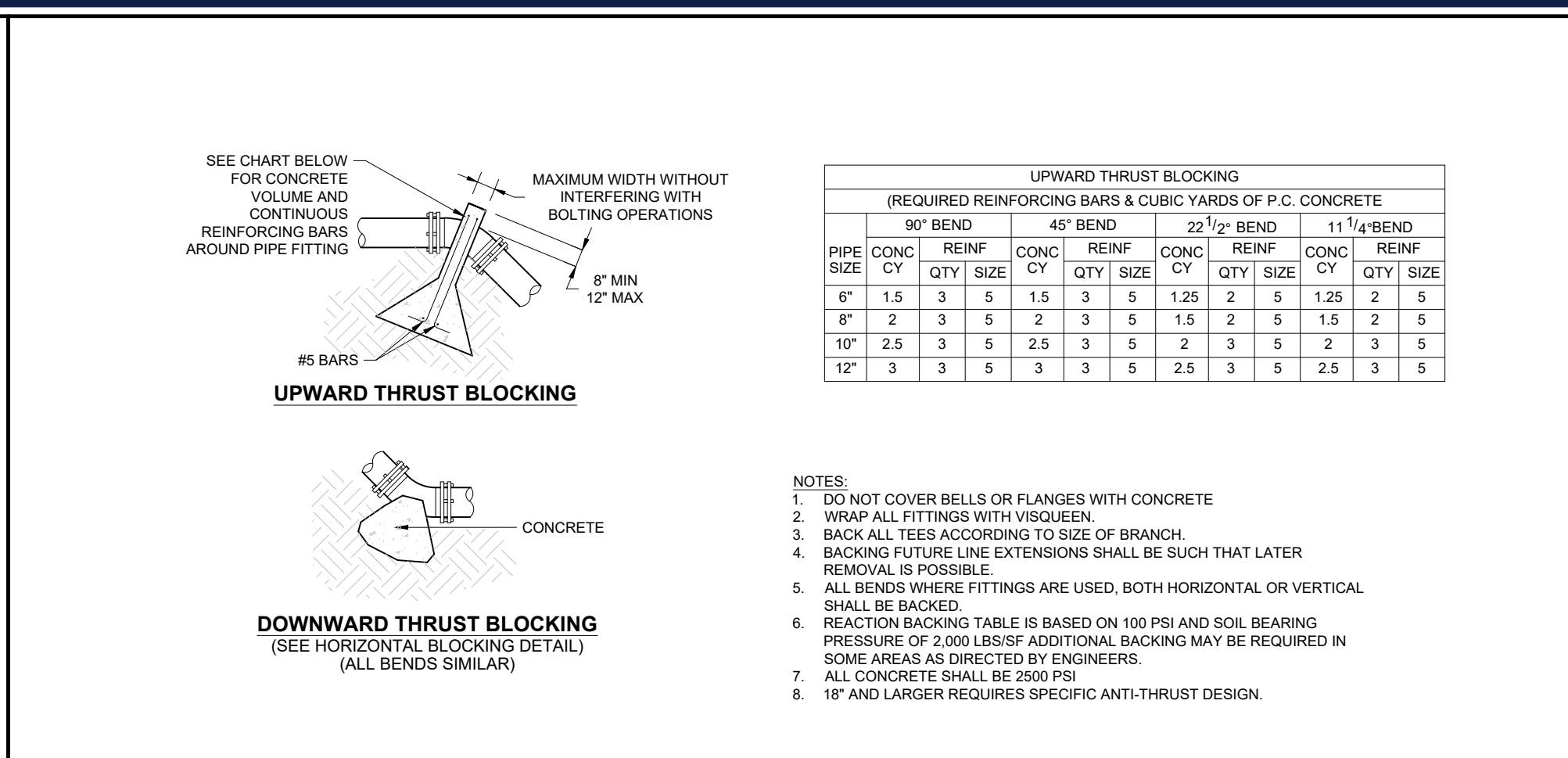
C-902

REVISION 10 - 12/18/2025

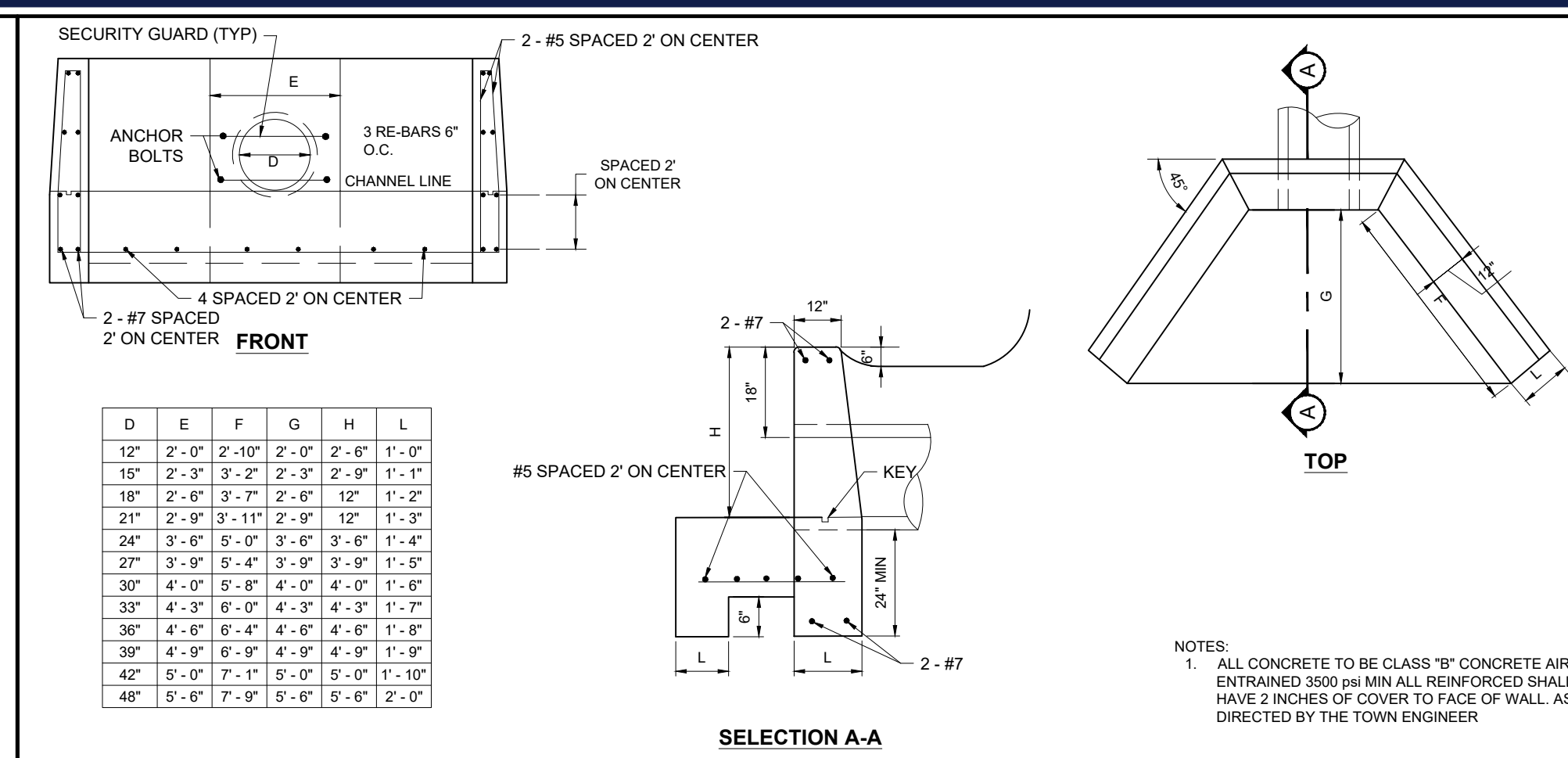
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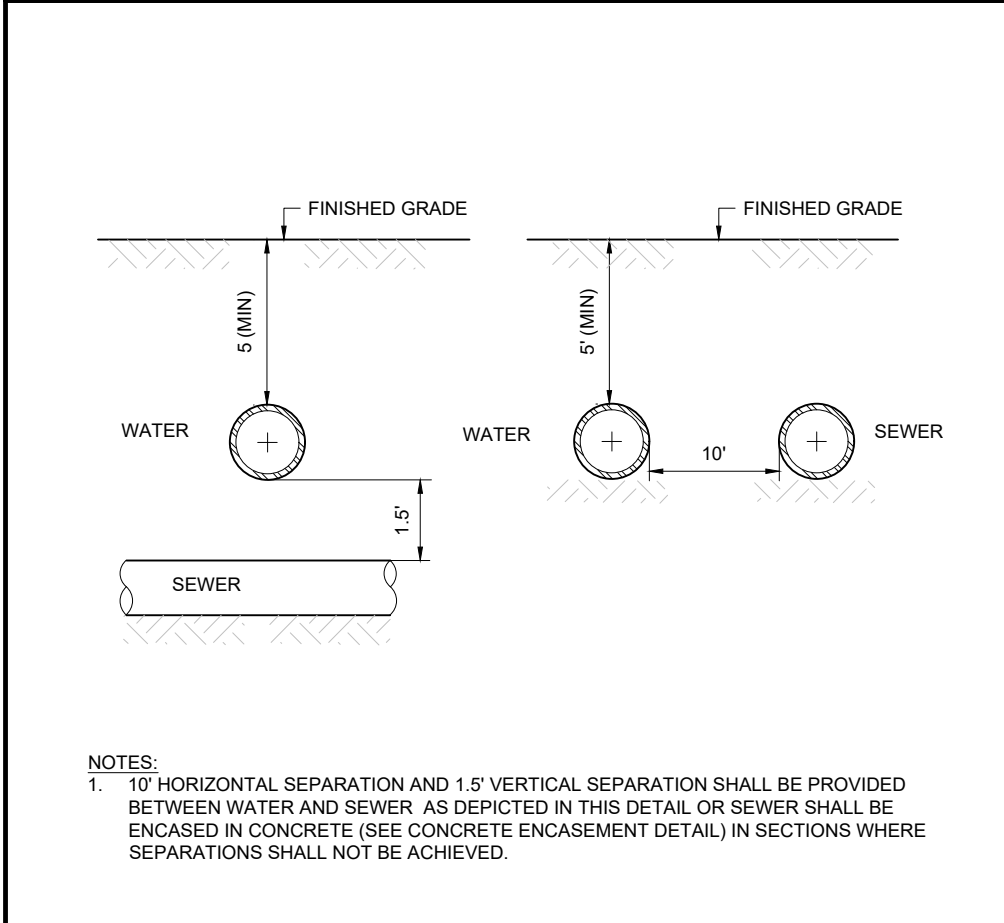
SANITARY MAIN CONNECTION
NOT TO SCALE (NE-U020401 - 09/2023)



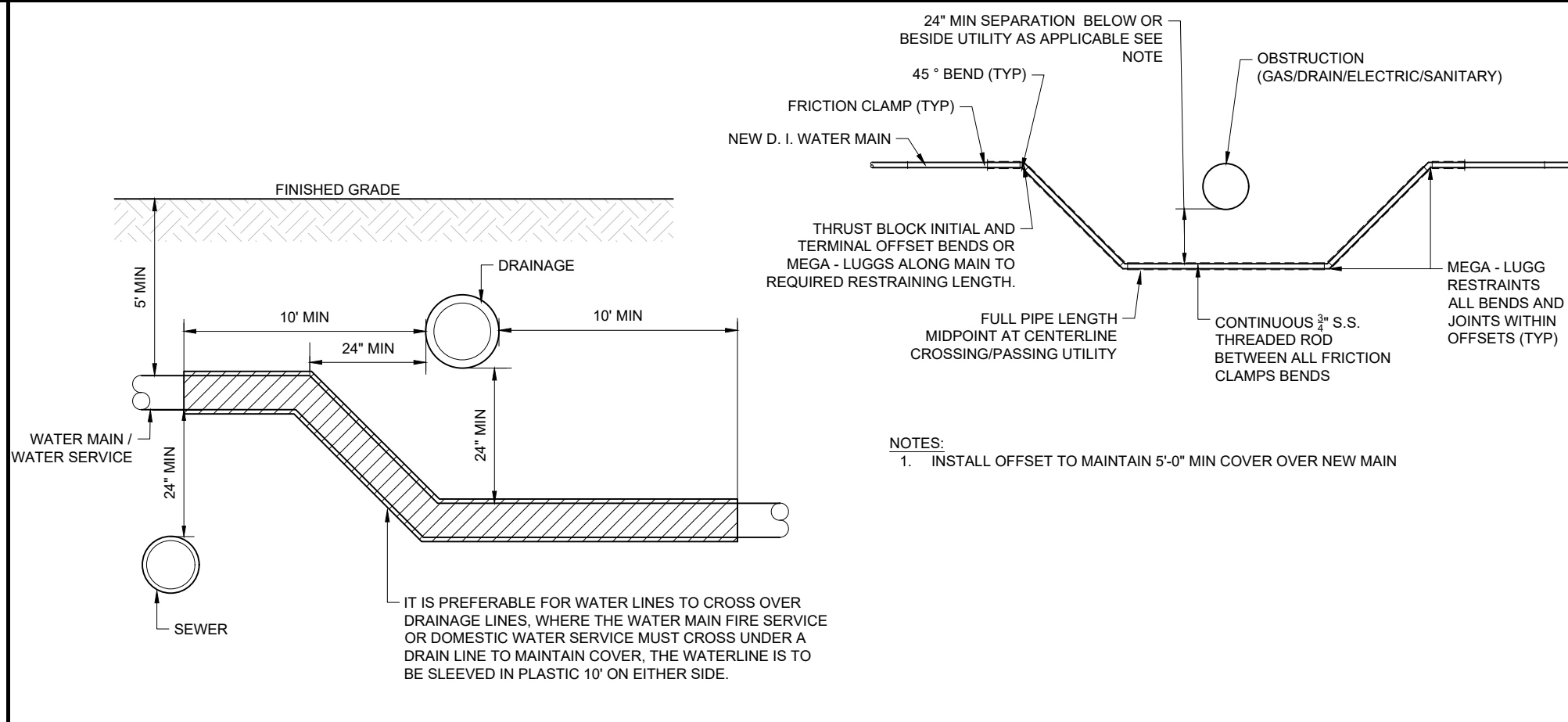
VERTICAL THRUST BLOCKING
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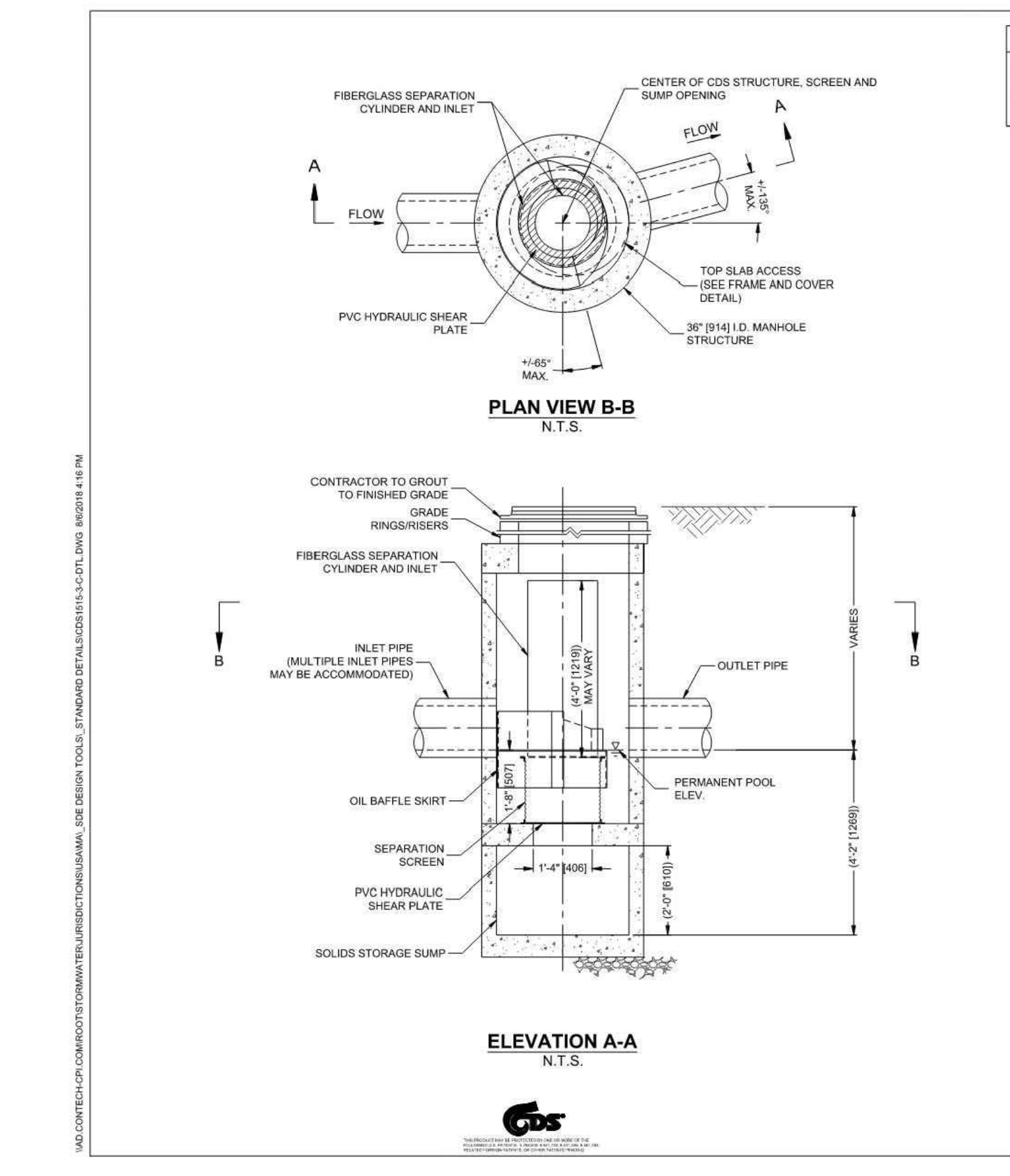
HEADWALL
NOT TO SCALE (NE-U010404 - 09/2023)



WATER AND SEWER UTILITY CROSSING
NOT TO SCALE (NE-U050101 - 09/2023)



WATER SERVICE OR MAIN AT UTILITY CROSSING
NOT TO SCALE (NE-U050102 - 09/2023)



CDS1515-3-C DESIGN NOTES

CDS1515-3-C RATED TREATMENT CAPACITY IS 1.0 CFS. OR PER LOCAL REGULATIONS. THE STANDARD CDS1515-3-C CONFIGURATION IS SHOWN.

GENERAL NOTES:

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.conteches.com
- CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STRUCTURE SHALL MEET ASHTO H20-22.5 LOAD RATING, ASSUMING EARTH COVER OF 2'-2" AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET ASHTO M588 AND BE CAST WITH THE CONTECH LOGO.
- IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
- CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND ASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES:

- ANY SUB-BASE, BACKFILL, DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLY STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CONTECH ENGINEERED SOLUTIONS LLC
8025 Centre Pointe Dr. Suite 400, West Chester, OH 45399
800.338.1122 513.845.7000 513.645.7993 FAX

CDS1515-3-C ONLINE CDS STANDARD DETAIL

ITEM	QTY.	DESCRIPTION	MAT'L
1	1	ULTRAFLEX CHECKMATE CHECK VALVE	MUST BE SUPPLIED
2	1	CLAMP	MUST BE SUPPLIED

NOTES:

- PIPE INSIDE DIAMETER - **MUST BE SUPPLIED** (MINIMUM ALLOWABLE PIPE DIAMETER - 11.50 INCHES)
- CLAMP INSTALLED IN UPSTREAM OR DOWNSTREAM CUFF DEPENDING ON INSTALLATION ORIENTATION
- MAXIMUM ALLOWABLE BACK PRESSURE - **68.0 FEET**
- IT IS RECOMMENDED TO BOLT OR PIN CHECKMATE TO PIPE AS SHOWN, 4 PLACES 90° APART

PIN PER NOTE #4 RECOMMENDED PINNING CONFIGURATION (SUPPLIED BY CUSTOMER) (SEE I.O.M.) NOT TO SCALE

PROPRIETARY NOTICE

THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION OF THE RED VALVE COMPANY, INC. IT IS LOANED BY RED VALVE COMPANY, INC. SUBJECT TO THE CONDITIONS THAT IT AND THE INFORMATION EMBODIED THEREIN SHALL BE USED ONLY FOR RECORD AND REFERENCE PURPOSES. IT SHALL NOT BE USED OR CAUSED TO BE USED IN A WAY PREJUDICIAL TO THE INTERESTS OF THE RED VALVE COMPANY. IT SHALL NOT BE REPRODUCED, IN WHOLE OR IN PART, OR DISCLOSED TO ANYONE WITHOUT THE DIRECT WRITTEN PERMISSION OF THE RED VALVE COMPANY, INC., AND SHALL BE RETURNED UPON REQUEST.

Red Valve Tideflex
750 HOLIDAY DR. #400
Foster Plaza #9
PITTSBURGH, PA 15220
412.279.0044
REDVALVE.COM

OPPORTUNITY No: XXXXXX SALES ORDER No: TXX-XXXX
DR. BY: TLM DATE: XX-XX-XX CHKD. BY: DATE:
CAD SCALE: FULL DOC No: DWG REV 0
PLOT SCALE: 1 = 1 DWG No: TTS-DWG

NOTES REGARDING DETAILS BY OTHERS:

- DETAILS PREPARED BY OTHERS ARE IDENTIFIED AS SUCH BY WAY OF A TITLE BLOCK, REFERENCE, LOGO, OR OTHER NOTATION.
- WHERE AN ORIGINAL DETAIL BY OTHERS HAS BEEN MODIFIED, THE MODIFICATIONS ARE IDENTIFIED BY REVISION CLOUDS.
- REFER TO OUTSIDE SOURCE NOTES ON THE GENERAL NOTES AND LEGEND SHEET.
- WHEN THE SOURCE OF THE DETAIL IS A REVIEWING/REGULATORY AGENCY, FABRICATION AND INSTALLATION SHALL BE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS AND SPECIFICATIONS. WHEN APPROPRIATE, SHOP DRAWINGS SHALL BE FORWARDED TO THE REVIEWING/REGULATORY AGENCY PRIOR TO FABRICATION.

DETAILS BY OTHERS DISCLAIMER

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SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REV	DATE	COMMENT	DRAWN BY
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10			EGD

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DRAWN BY: CSE
DATE: 02/25/2025
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FOR

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50 MAIN STREET
TOWN OF ASHLAND MASSACHUSETTS

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SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
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CONSTRUCTION DETAILS

SHEET NUMBER: **C-903**

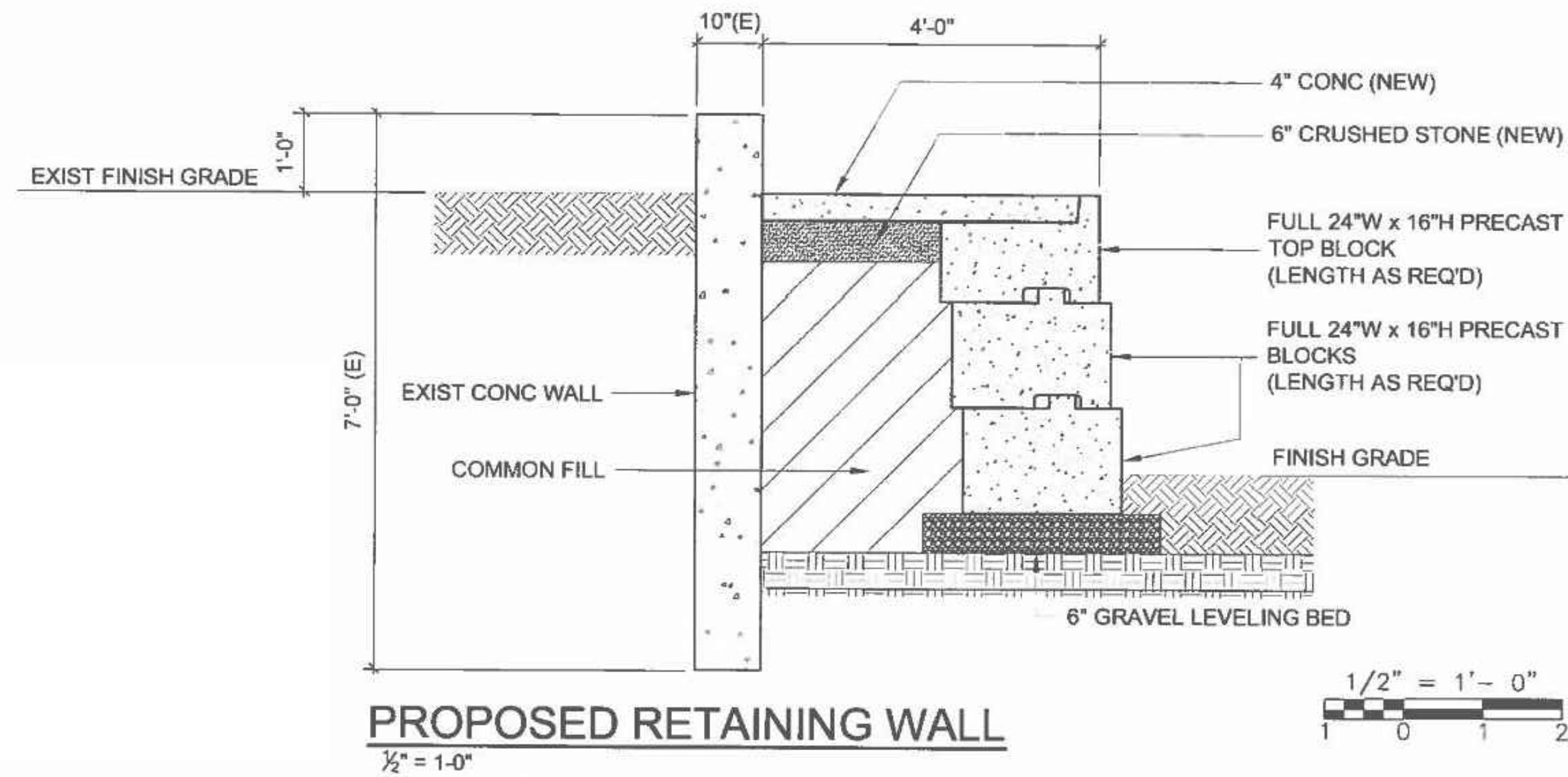
REVISION 10 - 12/18/2025

I. STRUCTURAL GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE 2015 INTERNATIONAL BUILDING CODE AND ALL APPLICABLE MASSACHUSETTS 780 CMR REFERENCED AMENDMENTS.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE FOR A SAFE AND EFFICIENT METHOD OF SHORING AND/OR BRACING THE STRUCTURE DURING ALL CONSTRUCTION PHASES. SUBMIT AN OUTLINE OF PROPOSED PROCEDURE TO THE ENGINEER BEFORE CONSTRUCTION COMMENCES.
- PRECAST RETAINING BLOCK WALL SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND ACCORDING TO DETAIL SHOWN ON THIS DRAWING.

II. CONCRETE

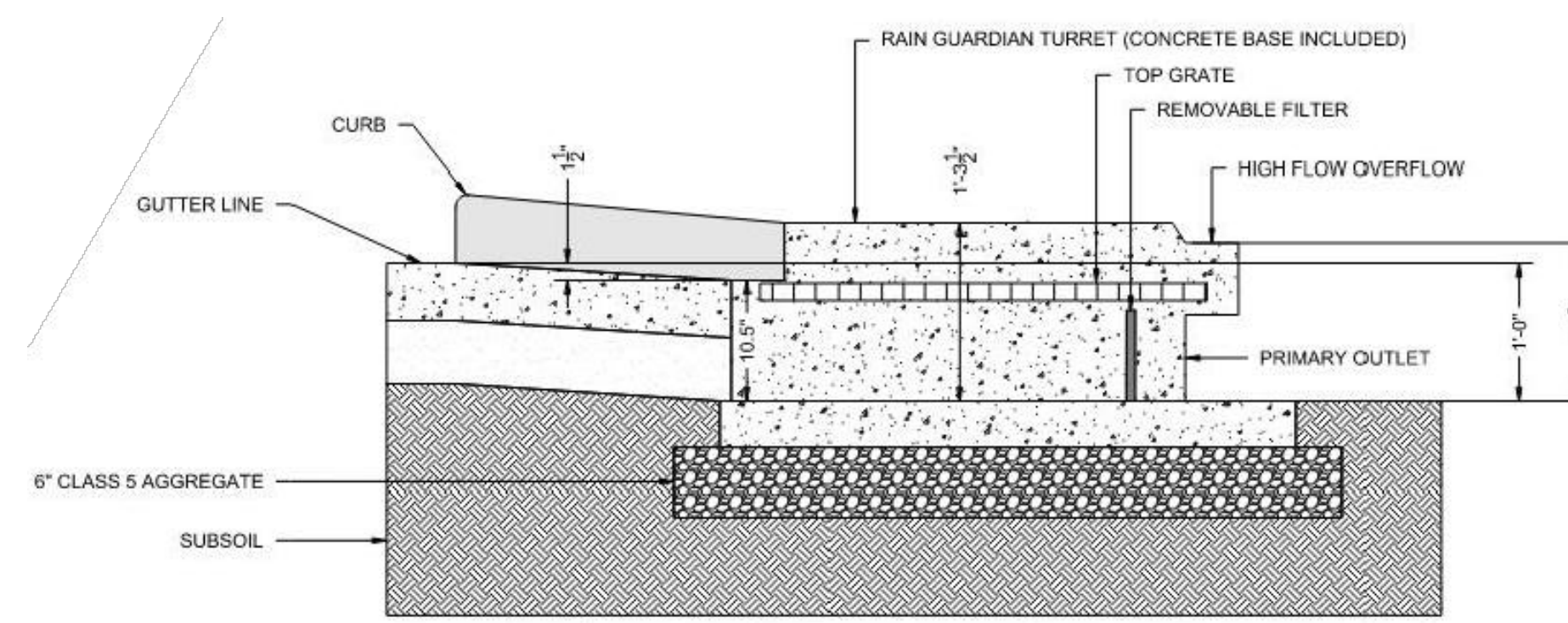
- CONCRETE SHALL HAVE THE FOLLOWING 28 DAY COMPRESSIVE STRENGTH:
 - SLABS.....3000 PSI



PROPOSED RETAINING WALL

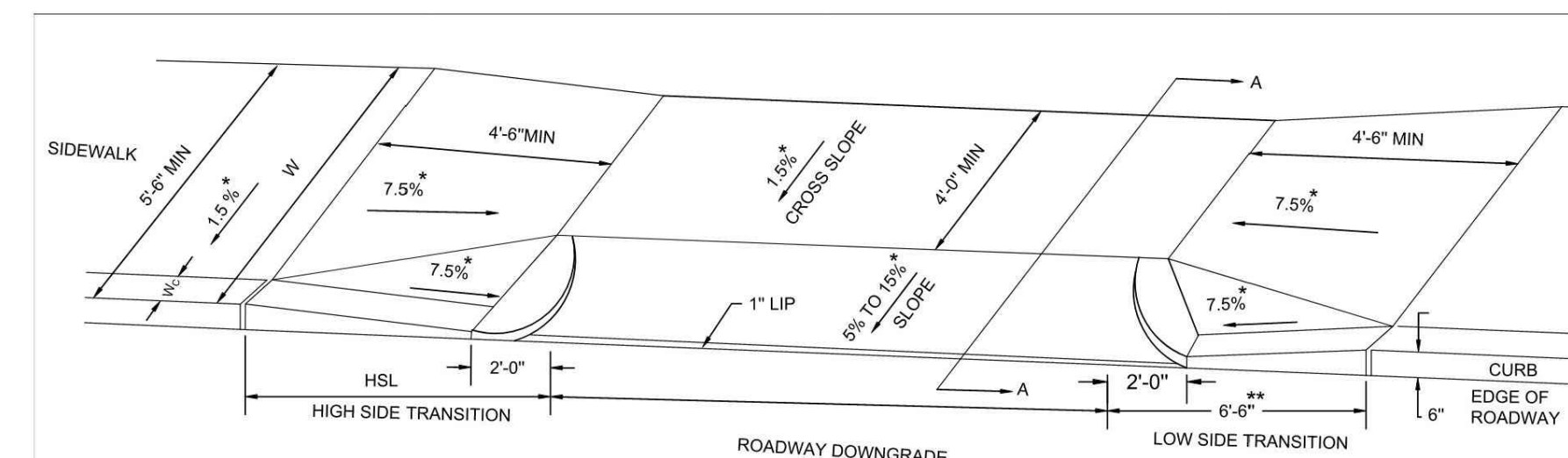
1/2" = 1'-0"

1/2" = 1'-0"	RETAINING WALL SECTION	PROJECT AT 10 MAIN STREET ASHLAND, MA.	TESTA ENGINEERING Structural Engineering	SK.1
RM				
RJT				
10/26/2023				



FOCALPOINT RAIN GUARDIAN TURRET SECTION DETAIL

NOT TO SCALE

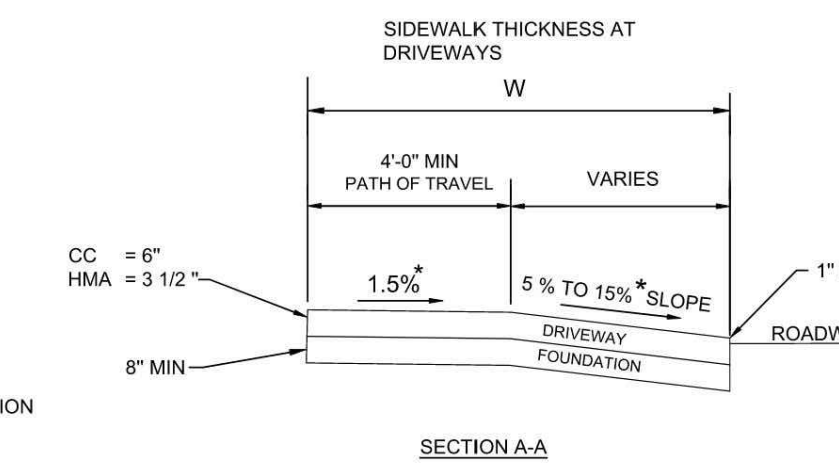


LEGEND

- HSL = HIGH SIDE TRANSITION LENGTH(701.2.8)
- HMA = HOT MIX ASPHALT
- W = SIDEWALK WIDTH
- CC = CEMENT CONCRETE
- Wc = CURB WIDTH
- * = TOLERANCE FOR CONSTRUCTION ± 0.5%
- ** = TRANSITION LENGTH SHOWN IS MINIMUM

NOTES:

- USABLE SIDEWALK WIDTH = W-Wc.
- PEDESTRIAN PATH OF TRAVEL SHALL BE NO LESS THAN 4'-0" WIDE AND FREE OF VERTICAL OBSTRUCTIONS FOR A MAXIMUM LENGTH OF 200'-0".
- ALL SLOPE VALUES LISTED HERE ARE MAXIMUM VALUES WITH A CONSTRUCTION TOLERANCE OF ±0.5%.



massDOT Highway Division	CONSTRUCTION STANDARDS	SIDEWALK THROUGH DRIVEWAYS	ISSUE DATE	DRAWING NUMBER
	SECTION 700	WITH CURB RETURNS 2' CURB CORNERS	JAN 2025	701.1.2

MADOT SIDEWALK THROUGH DRIVEWAYS WITH CURB RETURNS 2' CURB CORNERS DETAIL

NOT TO SCALE

NOTES REGARDING DETAILS BY OTHERS:

- DETAILS PREPARED BY OTHERS ARE IDENTIFIED AS SUCH BY WAY OF A TITLE BLOCK, REFERENCE, LOGO, OR OTHER NOTATION.
- WHERE AN ORIGINAL DETAIL BY OTHERS HAS BEEN MODIFIED, THE MODIFICATIONS ARE IDENTIFIED BY REVISION CLOUDS.
- REFER TO OUTSIDE SOURCE NOTES ON THE GENERAL NOTES AND LEGEND SHEET.
- WHEN THE SOURCE OF THE DETAIL IS A REVIEWING/REGULATORY AGENCY, FABRICATION AND INSTALLATION SHALL BE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS AND SPECIFICATIONS. WHEN APPROPRIATE, SHOP DRAWINGS SHALL BE FORWARDED TO THE REVIEWING/REGULATORY AGENCY PRIOR TO FABRICATION.

DETAILS BY OTHERS DISCLAIMER

REVISIONS

REV	DATE	COMMENT	CHECKED BY	DRAWN BY
2	08/01/2024	COMPREHENSIVE PERMIT	CSE	JAK
3	02/25/2025	TRAFFIC COMMENTS	JAK	LEC
4	03/12/2025	RESPONSE TO HANCOCK COMMENTS	JAK	EKR
5	03/19/2025	REVS TO DRIVEWAY & GARAGE	JAK	EKR
6	04/29/2025	RESPONSE TO MDM & HANCOCK	CSE	EGD
7	06/04/2025	290' SIGHT DISTANCE	CSE	EGD
8	08/07/2025	220' SIGHT DISTANCE	CSE	EGD
9	09/16/2025	PLAN SET OF RECORD	CSE	EGD
10	12/18/2025	NOTICE OF INTENT SUBMISSION	CSE	EGD



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PROJECT No.:	MAA230359.00-10B
DRAWN BY:	CSE
CHECKED BY:	JAK
DATE:	02/25/2025
CAD ID:	P-CIVL-CND5

PROJECT:

PRELIMINARY SITE DEVELOPMENT PLANS

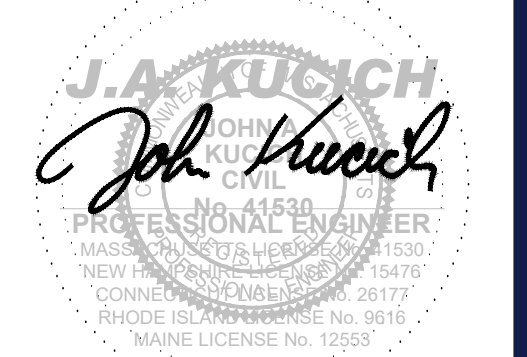
FOR
SLV ASHLAND, LLC

PROPOSED
40B DEVELOPMENT
"THE SANCTUARY AT ASHLAND MILLS"
MAP: 14 | LOT: 128
50 MAIN STREET
TOWN OF ASHLAND
MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD, 3rd FLOOR
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

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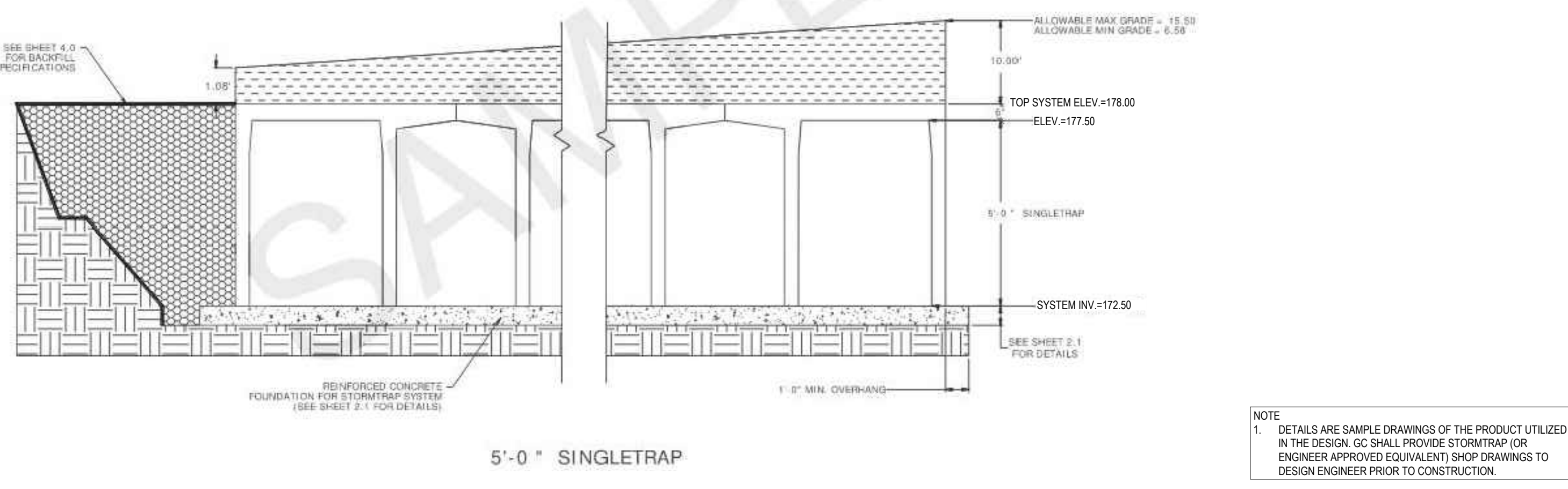
SHEET TITLE:

CONSTRUCTION DETAILS

SHEET NUMBER:

C-904

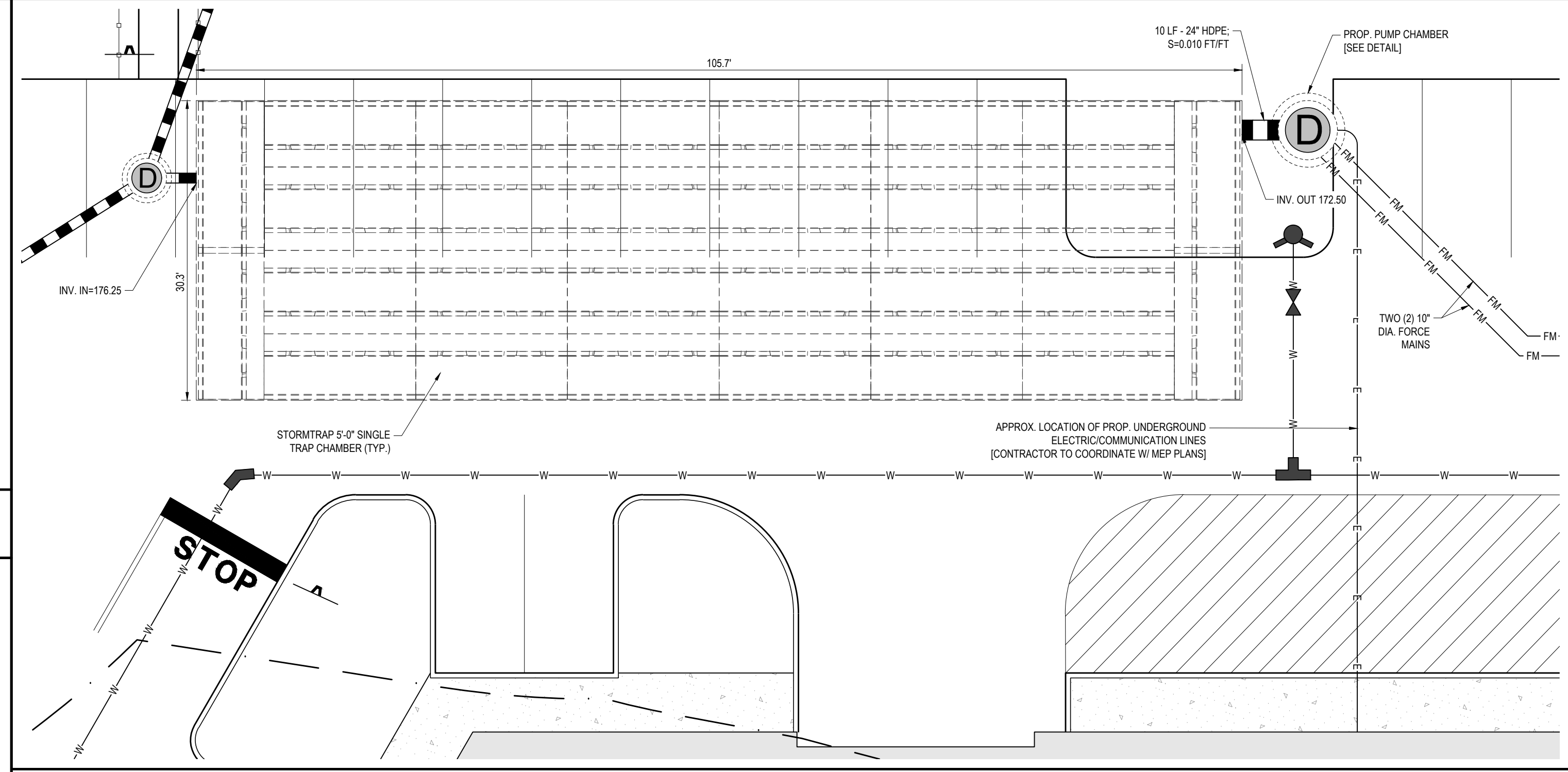
REVISION 10 - 12/18/2025



TYPICAL STORMTRAP SYSTEM SECTION

NOT TO SCALE

NOTE
1. DETAILS ARE SAMPLE DRAWINGS OF THE PRODUCT UTILIZED IN THE DESIGN. GC SHALL PROVIDE STORMTRAP (OR ENGINEER APPROVED EQUIVALENT) SHOP DRAWINGS TO DESIGN ENGINEER PRIOR TO CONSTRUCTION.

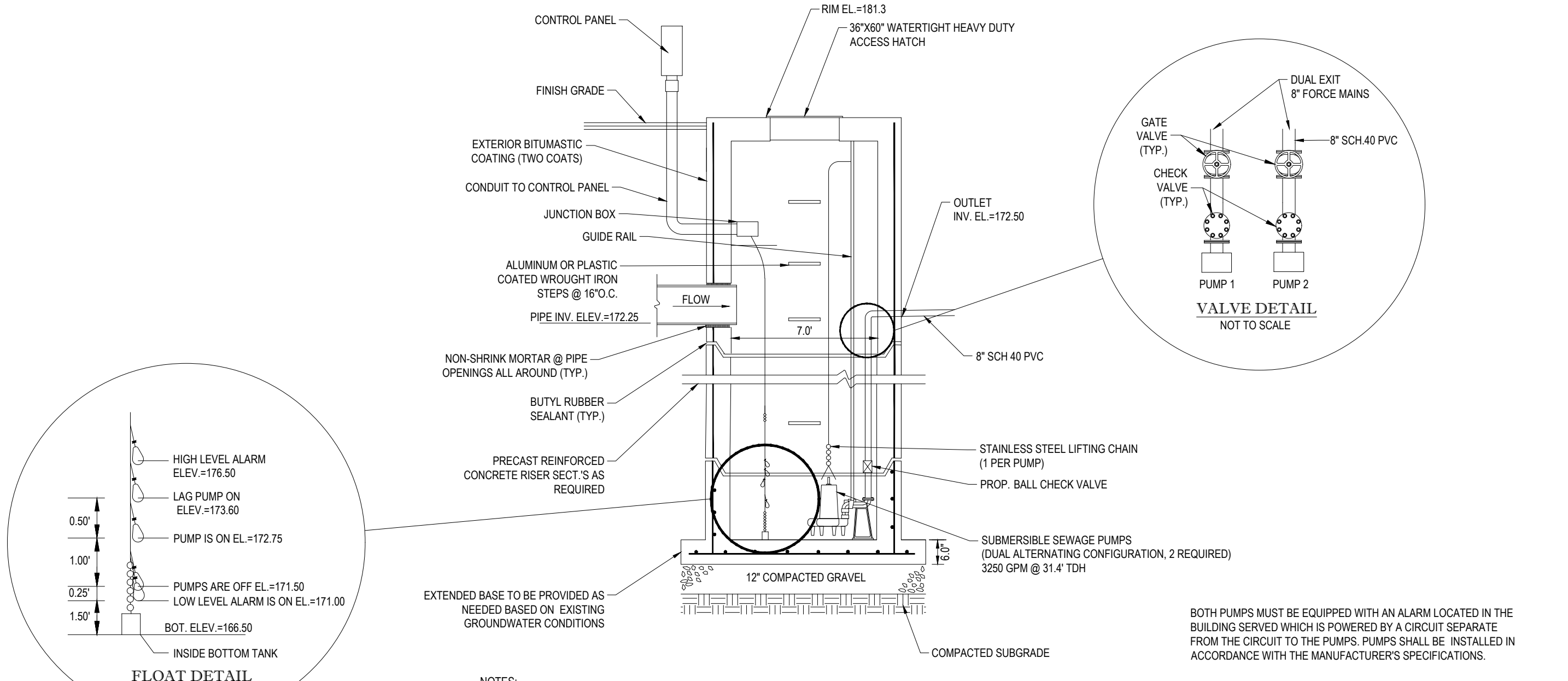


STORMTRAP SYSTEM (PLAN VIEW)

SCALE: 1"=10'

NOTES REGARDING DETAILS BY OTHERS:
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DETAILS BY OTHERS DISCLAIMER



NOTES:
 1. ALL STRUCTURES SHALL BE H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF ASTM C478.
 2. CONTRACTOR SHALL SIZE MANHOLE AS NECESSARY TO ACCOMMODATE THE PROPOSED PIPE SIZES AND PENETRATIONS USING GEOMETRY SHOWN ON THE GRADING AND DRAINAGE PLANS.

PUMP CHAMBER SYSTEM NOTES:

- ALL ENTRIES FOR PUMP CHAMBER SHALL BE KORN SEAL OR EQUIVALENT.
- DESIGN OPERATING VOLUME TO CLEAR THE VOLUME OF THE FORCE MAIN ON EACH PUMP CYCLE.
- PUMP STATION ACCESS HATCH CENTERED OVER PUMPS TO BE A WATER-TIGHT STAINLESS STEEL H-20, 30" X 60" HATCH AS NOTED. BOTH HATCHES SHALL BE SUPPORTED ON A PRE-CAST CONCRETE RISER DESIGNED TO ACCOMMODATE STAINLESS STEEL H-20 HATCHES. OPENINGS IN TOP OF PUMP CHAMBER SHALL MATCH THE HATCH DIMENSIONS.
- A VENT SHALL BE LOCATED THROUGH THE TOP OF THE PUMP CHAMBER OR ALTERNATIVELY THROUGH THE PRECAST HATCH RISER. VENT PIPING SHALL BE SHOWN TO A LOCATION WHERE A CHARCOAL FILTER MAY BE LOCATED. IF NECESSARY, THE CHARCOAL FILTER WILL BE PROTECTED BY BOLLARDS.
- AN AUDIBLE HORN, RED FLASHING LIGHT AND EMERGENCY CONTACT SIGN MOUNTED NEXT TO THE LIGHT SHALL BE FURNISHED TO PROVIDE NOTIFICATION OF PUMP STATION FAILURE AND PROVIDE AN EMERGENCY CONTACT NUMBER IF HORN/LIGHT ARE SOUNDING/VISIBLE.
- AN "AUTO DIALER" SHALL BE PROVIDED WITH THE STATION CONTROLS WHICH WILL NOTIFY A MANNED 24/7 LOCATION FOR EMERGENCY RESPONSE. DIALER SHALL PROVIDE PRIMARY AND BACKUP RESPONSE CALLS AND DIAL OUT TO FIRE DISPATCH IF ALL RESPONSES FAIL.
- PUMPS SHALL ALTERNATE AND A RUN TIME METER SHALL BE INSTALLED IN THE CONTROL PANEL FOR EACH PUMP. EACH PUMP AND ALARM SHALL BE ON SEPARATE CIRCUITS.
- PUMP SYSTEM VENDOR MAINTENANCE CONTRACT TO BE PROVIDED PRIOR TO TESTING AND ACTIVATING PUMP SYSTEM. WATER TIGHT TESTING, MANDREL TESTING AND VACUUM TESTING OF ALL SYSTEM COMPONENTS INCLUDING PUMP CHAMBER SHALL BE COMPLETED BY CONTRACTOR.
- ALL INTERIOR PIPING AND HARDWARE SHALL BE STAINLESS STEEL OR PVC.
- SHOP DRAWINGS OF THE PUMP CHAMBER AND ALL PUMP EQUIPMENT TO BE APPROVED BY THE DESIGN ENGINEER.
- CONTRACTOR SHALL PROVIDE TRAINING AND START UP SERVICES BY MANUFACTURER'S REP FOR PUMP STATION. START UP SERVICES SHALL INCLUDE INSTRUCTION AND DEMONSTRATION INCLUDING OPERATION WITH BACKUP POWER USING PORTABLE GENERATOR. SEWER PUMP SYSTEM O&M MANUAL SHALL INCLUDE EMERGENCY CONTACTS AND MAINTENANCE VENDOR.
- PUMP INSTALLATION, POWER FEED, ALARMS AND PUMP CONTROL PANEL TO BE INSTALLED BY A QUALIFIED LICENSED ELECTRICIAN.
- CONTROL PANEL SHALL HAVE AN OUTLET WIRED TO ALLOW CONNECTION OF AN EMERGENCY GENERATOR WITH SUITABLE CAPABILITY TO ISOLATE THE CONTROL PANEL WHILE POWERED BY BACK UP GENERATOR. CONTROL PANEL SHALL HAVE INTEGRAL OVERLOAD PROTECTION FOR PUMPS.
- BOTH PUMPS MUST BE EQUIPPED WITH AN ALARM LOCATED IN THE BUILDING SERVED WHICH IS POWERED BY A CIRCUIT SEPARATE FROM THE CIRCUIT TO THE PUMPS. PUMPS SHALL BE CAPABLE OF PASSING A MINIMUM SOLID SIZE OF 2 1/2 INCH DIAMETER AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- THE SUBMERSIBLE PUMPS SHALL BE INSTALLED WITH A HYDRAULICALLY SEALED SLIDE COUPLING ARRANGEMENT SO THAT THE PUMPS CAN BE REMOVED FROM THE PUMP CHAMBER FOR SERVICE AND INSPECTION AND THEN RETURNED TO SERVICE WITHOUT ENTERING THE PUMP CHAMBER TO UNBOLT OR UNLOCK THE CONNECTION BETWEEN THE PUMP AND PIPING.
- DUPLEX PUMP CONTROLS SHALL BE PROVIDED IN THE PUMP CONTROL PANEL LOCATION WITHIN THE BUILDING AND CONTAINED IN WEATHER PROOF NEMA ENCLOSURE.
- EACH SUBMERSIBLE PUMP SHALL BE EQUIPPED WITH 25 FEET OF POWER CABLE WITH EPOXY SEALED HOUSING WITH SECONDARY PRESSURE GROMMET FOR SEALING AND STRAIN RELIEF. ALL INCOMING LEAD WIRES SHALL BE SPLICED IN THE MOTOR TERMINAL HOUSING.
- THE CONTRACTOR SHALL FURNISH AND INSTALL FIVE (5) MERCURY LIQUID LEVEL SENSORS WITH SUFFICIENT LENGTH OF CABLE FOR EACH PUMP STATION. STANDBY TYPE OF LEVEL SENSORS SHALL BE MERCURY TYPE PILOT DUTY DEVICES MOUNTED IN A CORROSION RESISTANT POLYPROPYLENE HOUSING, AND MOUNTED TO TANK INTERIOR BY A DETACHABLE BRACKET TO BE EASILY ACCESSIBLE FROM THE EXISTING MANWAYS.
- THE PUMP MOTORS SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, AND SHALL BE FITTED WITH HOUR METERS THAT ARE RECORDED WITHIN THE PUMP PANEL.

PUMP SYSTEM DETAIL

NOT TO SCALE

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 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY
2	08/01/2024	COMPREHENSIVE PERMIT	JAK
3	02/25/2025	TRAFFIC COMMENTS	LEC
4	03/12/2025	RESPONSE TO HANCOCK COMMENTS	JAK
5	03/19/2025	REVS TO DRIVEWAY & GARAGE	EKR
6	04/29/2025	RESPONSE TO MDM & HANCOCK	CSE
7	06/04/2025	290' SIGHT DISTANCE	EGD
8	08/07/2025	220' SIGHT DISTANCE	EGD
9	09/16/2025	PLAN SET OF RECORD	CSE
10	12/18/2025	NOTICE OF INTENT SUBMISSION	EGD

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PROJECT No.: MAA230359-00-10B
 DRAWN BY: CSE
 CHECKED BY: JAK
 DATE: 02/25/2025
 CAD ID: P-CIVL-CNDS

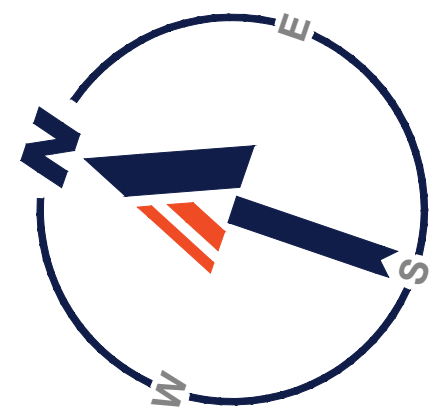
PROJECT:
PRELIMINARY SITE DEVELOPMENT PLANS
 FOR
SLV ASHLAND, LLC
 PROPOSED
 40B DEVELOPMENT
 "THE SANCTUARY AT ASHLAND MILLS"
 MAP: 14 | LOT: 128
 50 MAIN STREET
 TOWN OF ASHLAND MASSACHUSETTS

BOHLER
 352 TURNPIKE ROAD, 3rd FLOOR
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900
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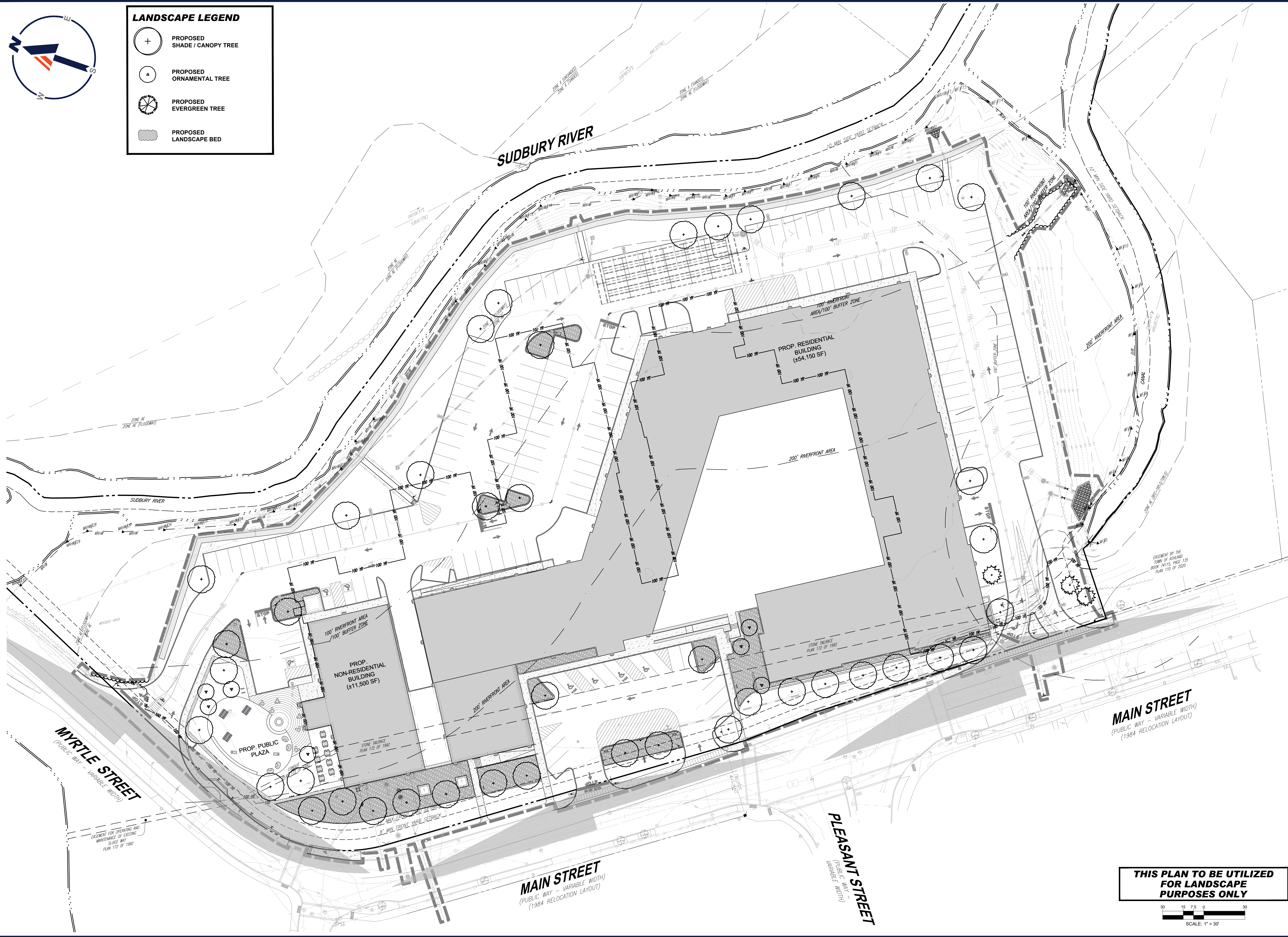
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 JOHN A. KUCICH
 PROFESSIONAL ENGINEER
 MASS. REG. NO. 11113
 NEW HAMPSHIRE REG. NO. 15476
 CONN. REG. NO. 19117
 RHODE ISLAND REG. NO. 6616
 MAINE LICENSE NO. 1255

SHEET TITLE:
CONSTRUCTION DETAILS
 SHEET NUMBER:
C-905
 REVISION 10 - 12/18/2025

P:\2023\MAA230359-00-10B\CAD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\SP-CIVL-CNDS-MAA230359-00-10B-10-JAYOUT-C905.DWG



LANDSCAPE LEGEND	
	PROPOSED SHADE / CANOPY TREE
	PROPOSED ORNAMENTAL TREE
	PROPOSED EVERGREEN TREE
	PROPOSED LANDSCAPE BED



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 SUSTAINABLE DESIGN
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 TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	08/01/2024	COMPREHENSIVE PERMIT	JAK	CSE
2	02/25/2025	TRAFFIC COMMENTS	JAK	LEC
3	03/12/2025	RESPONSE TO HANCOCK COMMENTS	JAK	EKR
4	03/12/2025	REVS TO DRIVEWAY & GARAGE	JAK	EKR
5	03/19/2025	RESPONSE TO MDM & HANCOCK	JAK	EGD
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9	09/16/2025	NOTICE OF INTENT SUBMISSION	JAK	EGD
10	12/18/2025		JAK	EGD

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PROJECT No.: MAA230359.00-10B
 DRAWN BY: CSE
 CHECKED BY: JAK
 DATE: 02/26/2025
 CAD ID: P-CIVIL-LGT

PROJECT:
PRELIMINARY SITE DEVELOPMENT PLANS
 FOR
SLV ASHLAND, LLC
 PROPOSED 40B DEVELOPMENT "THE SANCTUARY AT ASHLAND MILLS"
 MAP: 14 | LOT: 128
 50 MAIN STREET
 TOWN OF ASHLAND MASSACHUSETTS

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 SOUTHBOROUGH, MA 01772
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SHEET TITLE:
LANDSCAPE PLAN
 SHEET NUMBER:
L-101
 REVISION 10 - 12/18/2025

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

SCALE: 1" = 30'

P:\2023\MAA230359\00\CAD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\CIVIL SITE PLAN\LAYOUT - L-101.LSP

MASSACHUSETTS LIGHTING NOTES

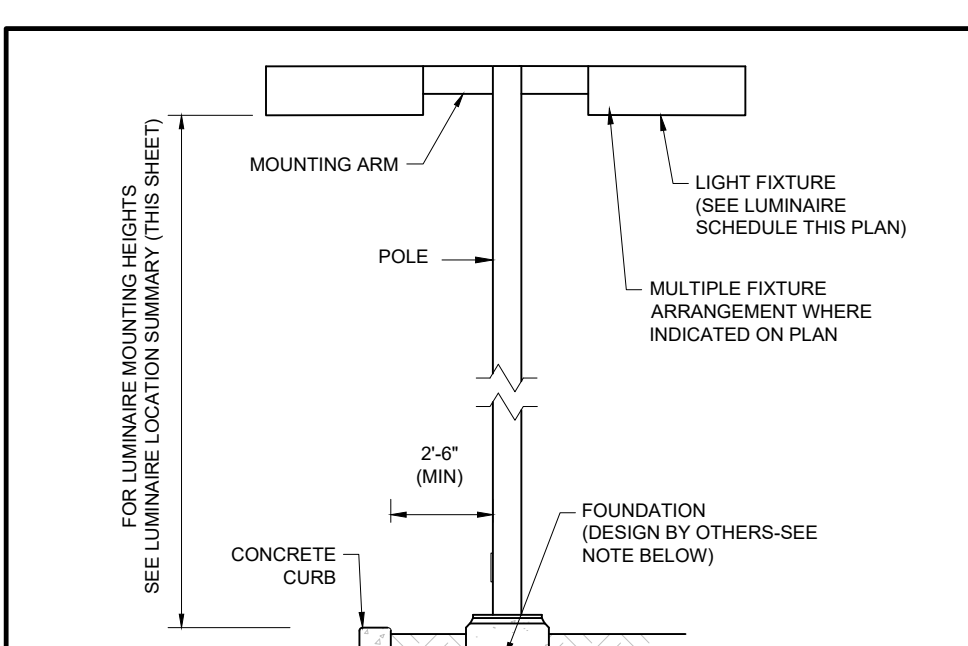
(REV. 02/2023)

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURERS. ACTUAL SUSTAINED ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-80-08 TESTING. THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE SCHEDULE.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL), UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOT-CANDELS (FC).
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING IF NECESSARY ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S.
- WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
- CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT INTERFERE WITH UTILITIES, OR OTHER STRUCTURES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING ANY AND ALL POWER SOURCE(S), AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY LOCAL REGULATION.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LIGHTING REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
- THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
- WHEN A BANK ATM IS INCLUDED IN THE PLAN, THE LIGHTING DESIGN REPRESENTS BOHLER'S UNDERSTANDING AND INTERPRETATION OF THE REGULATORY LIGHTING LEVELS INTENDED BY PUBLISHED STANDARDS.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.

LABEL	QTY	MOUNTING HEIGHT	ARRANGEMENT	LLF	LUM. LUMENS	BUG RATING	DESCRIPTION
W3	44	15'-0" AFF	SINGLE	0.90	2392	B1-U0-G2	SIGNIFY GARCO, WALL MOUNT PUREFORM LED WALL SCONCE, TYPE 3, ZERO UP-LIGHT (PWS-C401-WW-G2-3-UV)
P2	1	20'-0" AFG	SINGLE	0.90	6234	B2-U0-G2	SIGNIFY GARCO, ECOFORM SITE AND AREA LED LUMINAIRE, TYPE 2, ZERO UP-LIGHT (ECF-S-32L-700-WW-G2-3)
P2-S	1	20'-0" AFG	SINGLE	0.90	7073	B1-U0-G2	SIGNIFY GARCO, ECOFORM SITE AND AREA LED LUMINAIRE, TYPE 2, WITH HOUSE-SIDE SHIELD, ZERO UP-LIGHT (ECF-S-32L-700-WW-G2-4-HIS)
P3	2	20'-0" AFG	SINGLE	0.90	9034	B2-U0-G2	SIGNIFY GARCO, ECOFORM SITE AND AREA LED LUMINAIRE, TYPE 3, ZERO UP-LIGHT (ECF-S-32L-700-WW-G2-3)
P3-D	6	20'-0" AFG	SINGLE	0.90	7197	B1-U0-G2	SIGNIFY GARCO, ECOFORM SITE AND AREA LED LUMINAIRE, TYPE 3, WITH HOUSE-SIDE SHIELD, ZERO UP-LIGHT (ECF-S-32L-700-WW-G2-3-HIS)
P4	1	20'-0" AFG	BACK-2-BACK	0.90	9034	B2-U0-G2	SIGNIFY GARCO, ECOFORM SITE AND AREA LED LUMINAIRE, TYPE 3, ZERO UP-LIGHT (ECF-S-32L-700-WW-G2-3)
P4-S	1	20'-0" AFG	SINGLE	0.90	9452	B2-U0-G2	SIGNIFY GARCO, ECOFORM SITE AND AREA LED LUMINAIRE, TYPE 4, ZERO UP-LIGHT (ECF-S-32L-700-WW-G2-4)
P4-S	1	20'-0" AFG	SINGLE	0.90	7412	B1-U0-G2	SIGNIFY GARCO, ECOFORM SITE AND AREA LED LUMINAIRE, TYPE 4, WITH HOUSE-SIDE SHIELD, ZERO UP-LIGHT (ECF-S-32L-700-WW-G2-4-HIS)
PSW	1	20'-0" AFG	SINGLE	0.90	9395	B4-U0-G2	SIGNIFY GARCO, ECOFORM SITE AND AREA LED LUMINAIRE, TYPE SW, ZERO UP-LIGHT (ECF-S-32L-700-WW-G2-SW)

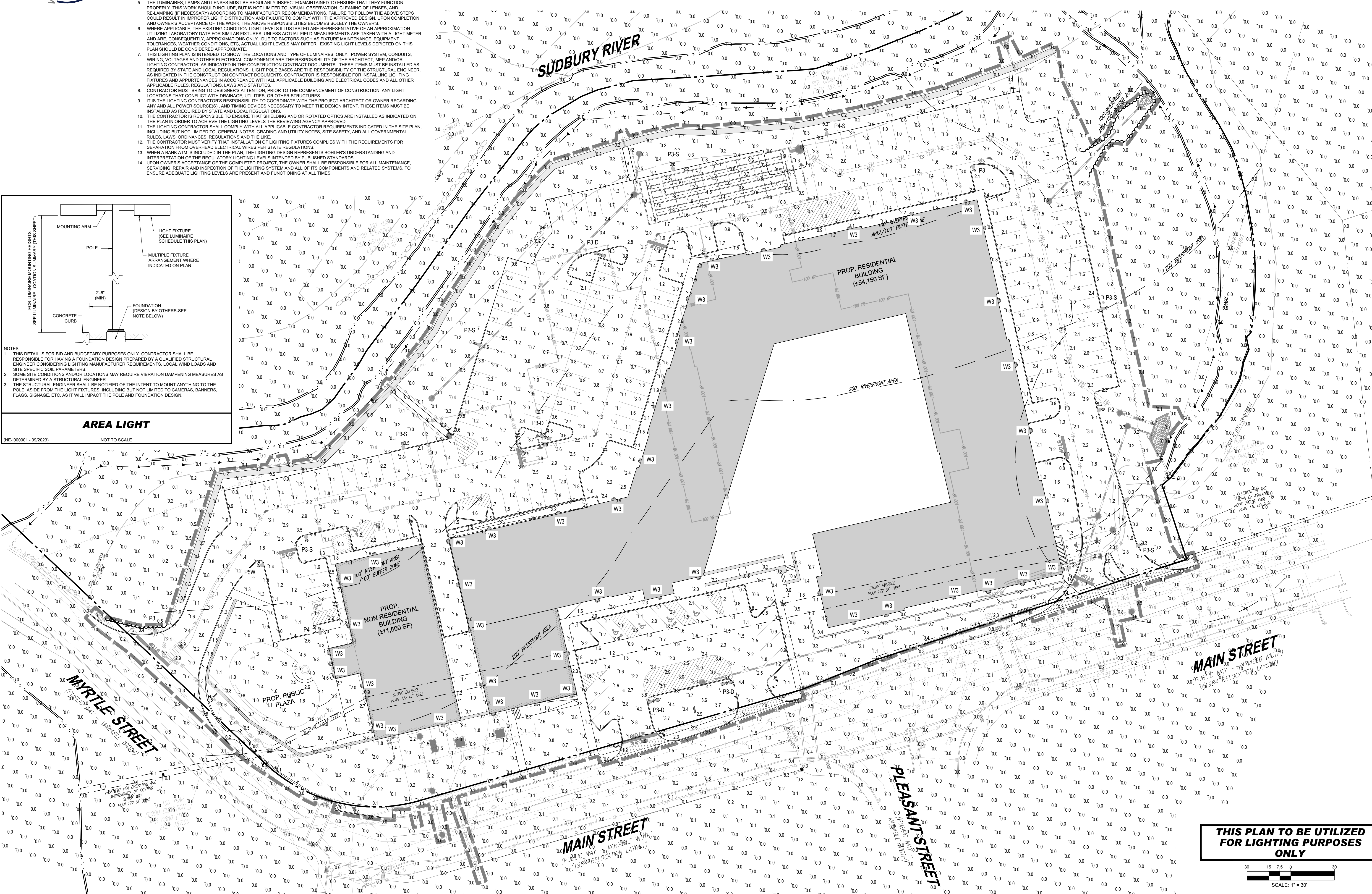
*REFER TO ARCHITECTURAL DRAWINGS FOR FINAL MOUNTING HEIGHTS AND LOCATIONS

LABEL	CALCULATION SUMMARY	CALCTYPE	UNITS	AVG	MAX	MIN	AVGMIN	MAXMIN
ALL POINTS	ILLUMINANCE	FC		0.35	5.3	0.0	N.A.	N.A.
NORTH PARKING COURT AND DRIVE	ILLUMINANCE	FC		1.85	5.2	0.6	2.75	9.87
SOUTHWEST PARKING COURT	ILLUMINANCE	FC		2.01	5.0	0.7	2.87	7.14
NORTHWEST PARKING COURT	ILLUMINANCE	FC		1.53	2.8	0.9	1.70	3.11



- NOTES:
- THIS DETAIL IS FOR BID AND BUDGETING PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A FOUNDATION DESIGN PREPARED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING LIGHTING MANUFACTURER REQUIREMENTS, LOCAL WIND LOADS AND SITE SPECIFIC SOIL PARAMETERS.
 - SOME SITE CONDITIONS AND/OR LOCATIONS MAY REQUIRE VIBRATION DAMPENING MEASURES AS DETERMINED BY A STRUCTURAL ENGINEER.
 - THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF THE INTENT TO MOUNT ANYTHING TO THE POLE, ASIDE FROM THE LIGHT FIXTURES, INCLUDING BUT NOT LIMITED TO CAMERAS, SIGNERS, FLAGS, SIGNAGE, ETC. AS IT WILL IMPACT THE POLE AND FOUNDATION DESIGN.

AREA LIGHT
NOT TO SCALE



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REV	DATE	COMMENT	CHECKED BY
2	08/01/2024	COMPREHENSIVE PERMIT	CSE JAK
3	02/25/2025	TRAFFIC COMMENTS	LEC JAK
4	03/12/2025	RESPONSE TO HANCOCK COMMENTS	EKR JAK
5	03/19/2025	REVS TO DRIVEWAY & GARAGE	EKR EGD
6	04/29/2025	RESPONSE TO MDM & HANCOCK	CSE EGD
7	06/04/2025	290' SIGHT DISTANCE	CSE EGD
8	08/07/2025	220' SIGHT DISTANCE	CSE EGD
9	09/16/2025	PLAN SET OF RECORD	CSE EGD
10	12/18/2025	NOTICE OF INTENT SUBMISSION	CSE EGD

811
Know what's below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

ISSUED FOR ENTITLEMENTS

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT: **PRELIMINARY SITE DEVELOPMENT PLANS** FOR **SLV ASHLAND, LLC**

PROPOSED 40B DEVELOPMENT "THE SANCTUARY AT ASHLAND MILLS"
MAP: 14 | LOT: 128
50 MAIN STREET
TOWN OF ASHLAND, MASSACHUSETTS

BOHLER
352 TURNPIKE ROAD, 3rd FLOOR
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

Matthew Q. Mann
REGISTERED LANDSCAPE ARCHITECT
No. 11959

SHEET TITLE: **LIGHTING PLAN**
SHEET NUMBER: **L-201**
REVISION 10 - 12/18/2025

P:\2023\MAA230359\01\CAD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\P-CIVL-LL01.MXD (12/18/2025) - LAYOUT - L-201.LGT



Wall Mount

PureForm

PWS wall sconce with comfort optics



Gardco PureForm LED wall sconce comfort PWS offers a sleek, low profile design that will complement a range of architectural styles...

Project:
Location:
Cat.No:
Type:
Lamps: Qty:
Notes:

Ordering guide

Table with columns: Prefix, Number of LEDs, Drive Current, LED Color - Generation, Distribution, Emergency, Voltage. Example: PWS-196L-650-NW-G2-2-UNV-DGY

Table with columns: Dimming controls, Motion-sensing, Photo-sensing, Options, Finish. Includes options like DD, FAW, DynaDimmer, BL, WAP.

- 1. 1850, 1676, and 2100mA not available with emergency battery backup (EBP).
2. Extended lead times apply. Contact factory for details.
3. Not available with other dimming control options.
4. Not available with motion sensor.
5. Not available with photocell.
6. Not available in 347 or 480V.
7. MMR not available with emergency battery backup cold weather (EBPC).
8. Must specify input voltage. UNV and HW not valid options.
9. Not available with DynaDimmer (CS/CM).
10. Not available with DynaDimmer (CS/CM).
11. Not available with DynaDimmer (CS/CM).

PWS PureForm wall sconce comfort 05/24 page 1 of 6



SIGNIFY GARDCO PUREFORM LED PWS WALL SCNCE

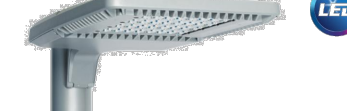
NOT TO SCALE



Site and Area

EcoForm

ECF-S small area light



Gardco EcoForm Gen-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 27,800 lumens or more in a compact, low profile LED luminaire...

Project:
Location:
Cat.No:
Type:
Lamps: Qty:
Notes:

Ordering guide

Example: ECF-S-64L-900-NW-G2-AR-5-120-HIS-MGY

Table with columns: Prefix, Number of LEDs, Drive Current, LED Color - Generation, Mounting, Distribution, Voltage. Example: ECF-S

Table with columns: Dimming controls, Motion sensing lens, Photo-sensing, Options, Luminaire, Finish. Includes options like DD, FAW, SRD, DynaDimmer, BL, WAP.

- 1. BL-MBR37 equipped with out-board sensor housing when voltage is 1850 (247-480V).
2. Mounts to a 4" round pole with adapter included for square poles.
3. Limited to a maximum of 48 degree aiming above horizontal.
4. Not available with other dimming control options.
5. Not available with motion sensor.
6. Not available with photocell.
7. Must specify a motion sensor.
8. Not available in 347 or 480V.
9. Must specify input voltage. UNV and HW not valid options.
10. 1850, 1676 and 2100mA not available with emergency battery backup cold weather (EBPC).
11. Not available in 480V.
12. Not available with DCC.
13. Not available with SR and SR.
14. Not available with stock finish standard.
15. Not available with Type 1 or Type 2.
16. Not available with 10, 20, 30, 40, 50, 60, 70, 80, 90, 100, 110, 120, 130, 140, 150, 160, 170, 180, 190, 200, 210, 220, 230, 240, 250, 260, 270, 280, 290, 300, 310, 320, 330, 340, 350, 360, 370, 380, 390, 400, 410, 420, 430, 440, 450, 460, 470, 480, 490, 500, 510, 520, 530, 540, 550, 560, 570, 580, 590, 600, 610, 620, 630, 640, 650, 660, 670, 680, 690, 700, 710, 720, 730, 740, 750, 760, 770, 780, 790, 800, 810, 820, 830, 840, 850, 860, 870, 880, 890, 900, 910, 920, 930, 940, 950, 960, 970, 980, 990, 1000, 1010, 1020, 1030, 1040, 1050, 1060, 1070, 1080, 1090, 1100, 1110, 1120, 1130, 1140, 1150, 1160, 1170, 1180, 1190, 1200, 1210, 1220, 1230, 1240, 1250, 1260, 1270, 1280, 1290, 1300, 1310, 1320, 1330, 1340, 1350, 1360, 1370, 1380, 1390, 1400, 1410, 1420, 1430, 1440, 1450, 1460, 1470, 1480, 1490, 1500, 1510, 1520, 1530, 1540, 1550, 1560, 1570, 1580, 1590, 1600, 1610, 1620, 1630, 1640, 1650, 1660, 1670, 1680, 1690, 1700, 1710, 1720, 1730, 1740, 1750, 1760, 1770, 1780, 1790, 1800, 1810, 1820, 1830, 1840, 1850, 1860, 1870, 1880, 1890, 1900, 1910, 1920, 1930, 1940, 1950, 1960, 1970, 1980, 1990, 2000, 2010, 2020, 2030, 2040, 2050, 2060, 2070, 2080, 2090, 2100, 2110, 2120, 2130, 2140, 2150, 2160, 2170, 2180, 2190, 2200, 2210, 2220, 2230, 2240, 2250, 2260, 2270, 2280, 2290, 2300, 2310, 2320, 2330, 2340, 2350, 2360, 2370, 2380, 2390, 2400, 2410, 2420, 2430, 2440, 2450, 2460, 2470, 2480, 2490, 2500, 2510, 2520, 2530, 2540, 2550, 2560, 2570, 2580, 2590, 2600, 2610, 2620, 2630, 2640, 2650, 2660, 2670, 2680, 2690, 2700, 2710, 2720, 2730, 2740, 2750, 2760, 2770, 2780, 2790, 2800, 2810, 2820, 2830, 2840, 2850, 2860, 2870, 2880, 2890, 2900, 2910, 2920, 2930, 2940, 2950, 2960, 2970, 2980, 2990, 3000, 3010, 3020, 3030, 3040, 3050, 3060, 3070, 3080, 3090, 3100, 3110, 3120, 3130, 3140, 3150, 3160, 3170, 3180, 3190, 3200, 3210, 3220, 3230, 3240, 3250, 3260, 3270, 3280, 3290, 3300, 3310, 3320, 3330, 3340, 3350, 3360, 3370, 3380, 3390, 3400, 3410, 3420, 3430, 3440, 3450, 3460, 3470, 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12. Extended lead times apply. Contact factory for details.
13. Return to properly select the "BAC" suffix could result in type receiving product that is not BAA compliant product with no recourse for an RMA or refund. The BAC designation hereunder does not address (i) the applicability of, or availability of, a waiver under the Trade Agreements Act, or (ii) the "Buy American" domestic content requirements imposed on states, localities, and other non-federal entities as a condition of receiving funds administered by the Department of Transportation or other federal agencies.
14. Consult Signify to confirm whether specific accessories are BAA-compliant.
15. Not available with photocell.
16. Not available with motion sensor.
17. Must specify a motion sensor.
18. Not available in 347 or 480V.
19. Must specify input voltage. UNV and HW not valid options.
20. Not available with DynaDimmer (CS/CM).
21. Not available with DynaDimmer (CS/CM).
22. Not available with DynaDimmer (CS/CM).
23. Not available with DynaDimmer (CS/CM).
24. Not available with DynaDimmer (CS/CM).
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26. Not available with DynaDimmer (CS/CM).
27. Not available with DynaDimmer (CS/CM).
28. Not available with DynaDimmer (CS/CM).
29. Not available with DynaDimmer (CS/CM).
30. Not available with DynaDimmer (CS/CM).

ECF-S_EcoForm_area_small 04/24 page 1 of 9



SIGNIFY GARDCO ECOFORM LED SMALL AREA LIGHT

NOT TO SCALE

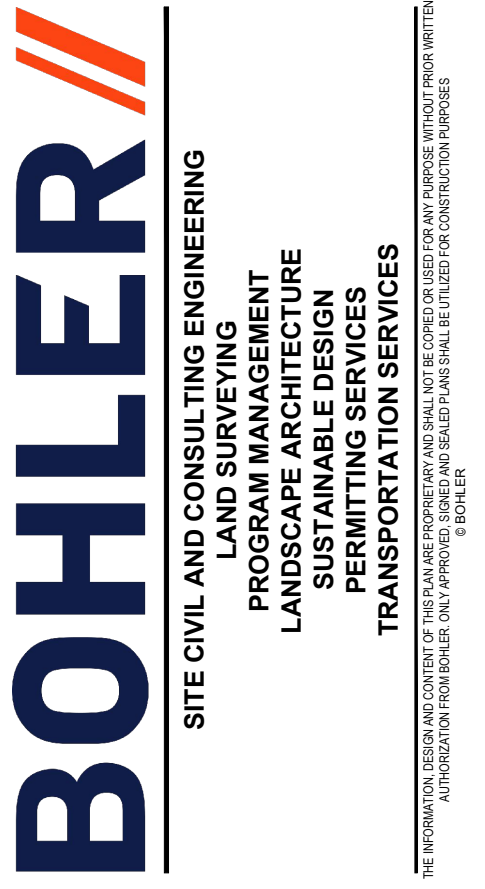


Table with columns: REV, DATE, COMMENT, DRAWN BY. Lists revisions for permit, comments, and submission.

811 logo and text: Know what's below. Call before you dig. ALWAYS CALL 811. It's fast. It's free. It's the law.

ISSUED FOR ENTITLEMENTS

PROJECT No.: MAA230359.00-10B
DRAWN BY: CSE
CHECKED BY: JAK
DATE: 02/25/2025
CAD ID: P-CIVL-LLTG

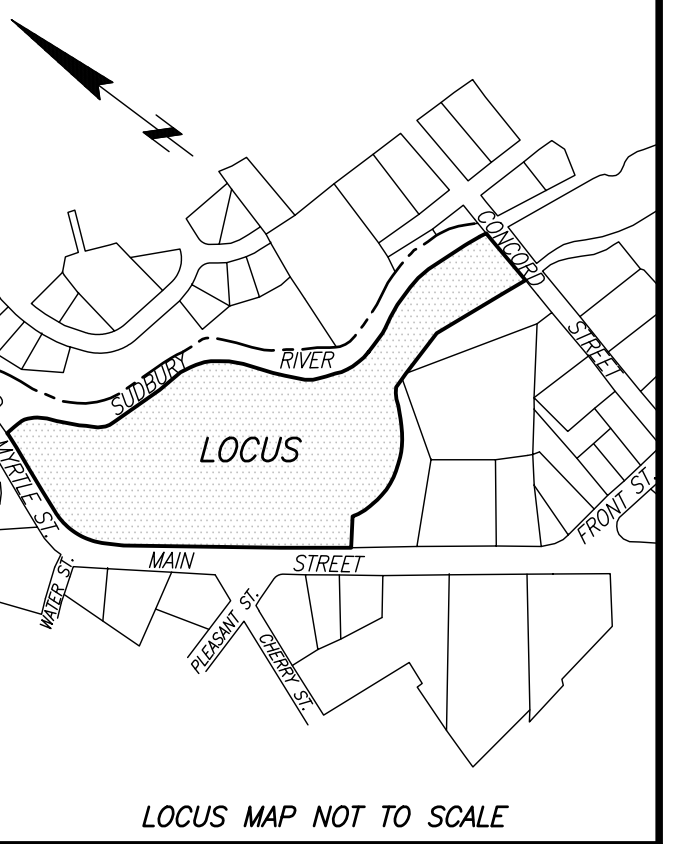
PRELIMINARY SITE DEVELOPMENT PLANS FOR SLV ASHLAND, LLC. PROPOSED 40B DEVELOPMENT 'THE SANCTUARY AT ASHLAND MILLS'. MAP: 14 | LOT: 128. 50 MAIN STREET. TOWN OF ASHLAND MASSACHUSETTS.

BOHLER logo and address: 352 TURNPIKE ROAD, 3rd FLOOR SOUTHBOROUGH, MA 01772. Phone: (508) 480-9900. www.BohlerEngineering.com

Professional seal for Matthew Q. Mann, Registered Professional Engineer, License No. 12523, State of Massachusetts.

SHEET TITLE: LIGHTING NOTES & DETAILS. SHEET NUMBER: L-202. REVISION 10 - 12/18/2025.

P:\2023\MAA230359\00\10B\10B-L-202-LAYOUT-LL-202-LNOTE

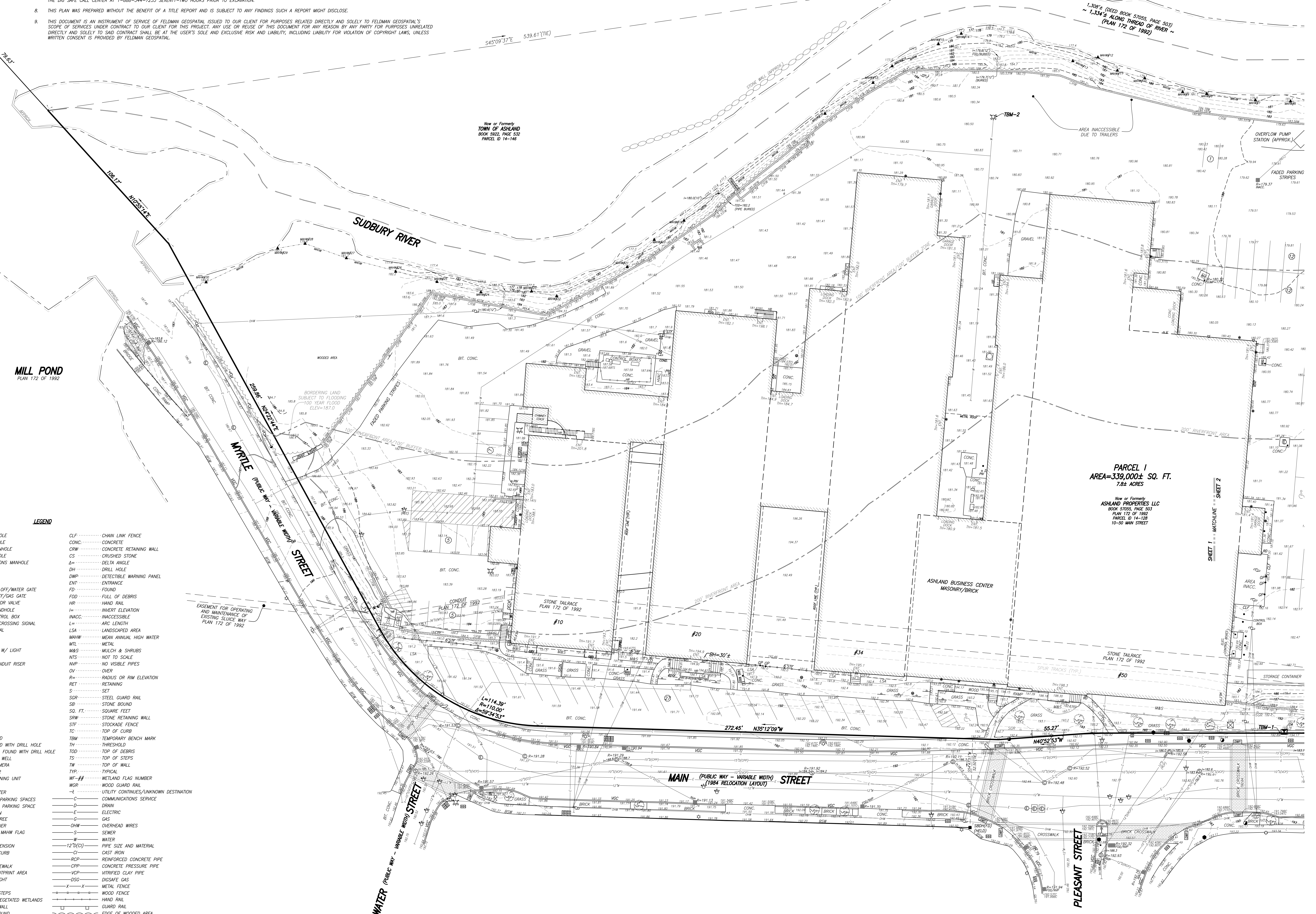
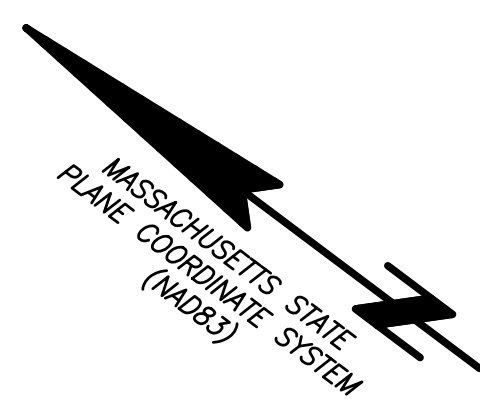


NOTES:

- 1. BENCH MARK INFORMATION:
BENCH MARK USED:
ELEVATIONS WERE OBTAINED BY GPS OBSERVATIONS ON MAY 16, 2024.
TEMPORARY BENCH MARKS SET:
TBM-1: CHISEL SQUARE SET ON NORTHWEST CORNER OF CONCRETE PAD FOR A TRAFFIC CONTROL BOX, LOCATED ON THE EASTERLY SIDELINE OF MAIN STREET, 1.27' ABOVE GRADE, AS SHOWN HEREON.
ELEVATION = 194.13
TBM-2: LEFT BOLT OVER MAIN OPENING ON THE HYDRANT LOCATED IN THE PARKING AREA AT THE REAR OF THE BUILDING.
ELEVATION = 183.39
2. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
3. PER THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION (NOAA) ONLINE VERTICAL DATUM TRANSFORMATION (VDATUM) TOOL, THE DIFFERENTIAL BETWEEN NAVD88 AND NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) IS 0.702.
4. CONTOUR INTERVAL EQUALS ONE (1) FOOT.
5. THE PARCEL SHOWN HEREON LIES PARTIALLY WITHIN ZONE "X" (UNSHADED) AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, PARTIALLY IN ZONE "AE" (NO BASE FLOOD ELEVATION DETERMINED) SPECIAL FLOOD AREA (SFA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, AND PARTIALLY IN ZONE "AE" (SHADED) A SPECIAL FLOOD AREA WITH BASE FLOOD ELEVATIONS DETERMINED AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP NUMBER 25017C0514F, TOWN OF ASHLAND COMMUNITY NUMBER 250179, PANEL NUMBER 0514F, HAVING AN EFFECTIVE DATE OF JULY 7, 2014.
6. BORDERING LAND SUBJECT TO FLOODING-100 YEAR FLOOD LINE SHOWN HEREON IS BASED ON THE PLAN PREPARED BY CONNORSTONE ENGINEERING, INC., DATED SEPTEMBER 14, 2020, ENTITLED "EXISTING CONDITIONS PLAN OF #10-50 MAIN STREET IN ASHLAND, MA" RECEIVED FROM BOHLER ENGINEERING ON DECEMBER 3, 2023.
7. UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFORESAID RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUBSURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE 800 SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
8. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY FINDINGS SUCH A REPORT MIGHT DISCLOSE.
9. THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR RELIANCE ON THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN OTHERWISE IS PROVIDED BY FELDMAN GEOSPATIAL.

REFERENCES:

- MIDDLESEX COUNTY REGISTRY OF DEEDS
PLAN 644 OF 1967
PLAN 366 OF 1995
PLAN 172 OF 1992
PLAN 726 OF 1994
PLAN 225 OF 2002
TOWN OF ASHLAND ENGINEERING DEPARTMENT
1984 PLAN OF THE RELOCATION OF PORTIONS OF MAIN, LOCUS, CHERRY, SUMMER AND MYRTLE STREETS AND HOMER AVENUE



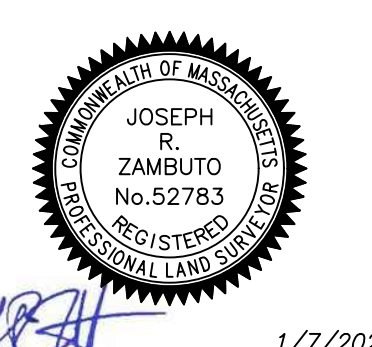
MILL POND
PLAN 172 OF 1992

LEGEND

- CLF CHAIN LINK FENCE
CONC CONCRETE
CONC CONCRETE RETAINING WALL
CS CRUSHED STONE
DA DELTA ANGLE
DH DRILL HOLE
DWP DETECTIBLE WARNING PANEL
ENT ENTRANCE
FD FOUND
FOD FULL OF DEBRIS
HR HAND RAIL
IN INVERT ELEVATION
INACC INACCESSIBLE
L ARC LENGTH
LSA LANDSCAPED AREA
MAHW MEAN ANNUAL HIGH WATER
MTL METAL
MBS MULCH & SHRUBS
N/S NOT TO SCALE
NVP NO VISIBLE PIPES
OV OVER
R RADIOS OR RIM ELEVATION
RET RETAINING
S SET
SGR STEEL GUARD RAIL
SB STONE BOUND
SQ. FT. SQUARE FEET
SRW STONE RETAINING WALL
STF STOCKADE FENCE
TC TOP OF CURB
TBM TEMPORARY BENCH MARK
TH THRESHOLD
TOD TOP OF DEBRIS
TS TOP OF STEPS
TW TOP OF WALL
TYP TYPICAL
WF-# WETLAND FLAG NUMBER
WGR WOOD GUARD RAIL
U UTILITY CONTINUES/UNKNOWN DESTINATION
COM COMMUNICATIONS SERVICE
D DRAIN
E ELECTRIC
G GAS
OHW OVERHEAD WIRES
S SEWER
W WATER
12"(C) PIPE SIZE AND MATERIAL
CI CAST IRON
RCP REINFORCED CONCRETE PIPE
CPP CONCRETE PRESSURE PIPE
VCP VITRIFIED CLAY PIPE
DSS DISSAFE GAS
M METAL FENCE
W WOOD FENCE
H HAND RAIL
G GUARD RAIL
E EDGE OF WOODED AREA
S STONE WALL

PARCEL 1
AREA=339,000± SQ. FT.
7.84 ACRES
New or Formerly
ASHLAND PROPERTIES LLC
BOOK 5922, PAGE 532
PLAN 172 OF 1992
PARCEL ID 14-129
10-50 MAIN STREET

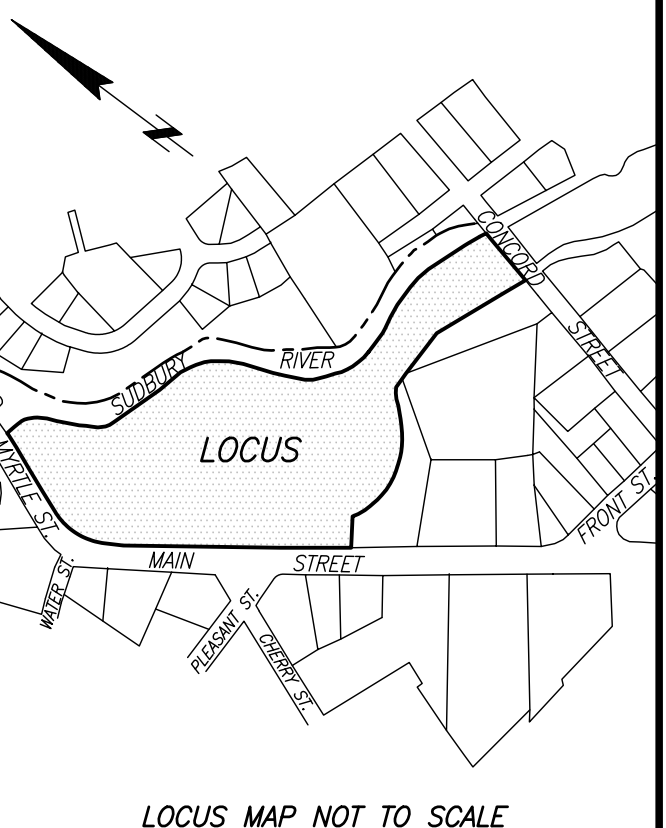
I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST RECORD PLANS, DEEDS, AND CERTIFICATES OF TITLE.



JOSEPH A. ZAMBRATO, PLS
(MAP 52783)
@ZAMBRATO@FELDMANGEO.COM
1/7/2026
DATE

DRAWING NAME:
**EXISTING CONDITIONS
PLAN OF LAND
50 MAIN STREET
ASHLAND, MASS.**

DATE: JUNE 21, 2024
REVISIONS:
11/4/2025 UPDATE TOPO & DRAINAGE
FILENAME: 2400483-DL_recover.dwg
RESEARCH: JF FIELD CHIEF: KF
FIELD MGR: JRE APPROVED:
CALC: HF DATED: MMJ
FIELD CHK: CRD FILE: 2400483-DX
SCALE: 1"=20'
SHEET NO. 1 OF 3



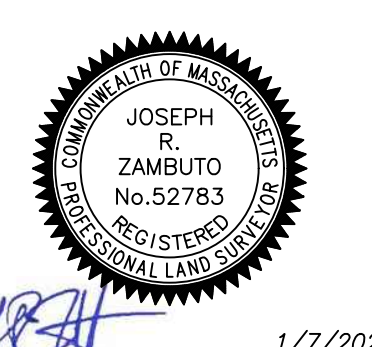
LOCUS MAP NOT TO SCALE



LEGEND

- | | |
|--|---|
| <ul style="list-style-type: none"> SM SEWER MANHOLE DM DRAIN MANHOLE EM ELECTRIC MANHOLE WM WATER MANHOLE CM COMMUNICATIONS MANHOLE MH MANHOLE CB CATCH BASIN EV EVAPORATOR WS WATER SHUT OFF/WATER GATE GS GAS SHUT OFF/GAS GATE PI POST INDICATOR VALVE EH ELECTRIC HANDLE TC TRAFFIC CONTROL BOX PS PEDESTRIAN CROSSING SIGNAL TS TRAFFIC SIGNAL UP UTILITY POLE LP LIGHT POLE UL UTILITY POLE W/ LIGHT GW GUY WIRE ER ELECTRIC CONDUIT RISER BOLLARD POST GP GATE POST MB MAIL BOX SG SIGN CO CLEAN OUT FA FIRE ALARM RD ROOF DRAIN V VENT DRILL HOLE BF BOUND FOUND DF DRILL FOUND WITH DRILL HOLE CF CONC. BOUND FOUND WITH DRILL HOLE OW OBSERVATION WELL SC SECURITY CAMERA TR TRANSFORMER AIR CONDITIONING UNIT GM GAS METER EM ELECTRIC METER NP NUMBER OF PARKING SPACES HP HANDICAPPED PARKING SPACE CR CURB RETURN DT DECIDUOUS TREE JB JERSEY BARRIER WETLAND OR MAHW FLAG AW AWNING BD BUILDING DIMENSION BC BOTTOM OF CURB BACK BSW BACK OF SIDEWALK BFA BUILDING FOOTPRINT AREA BH BUILDING HEIGHT BIT BITUMINOUS BS BOTTOM OF STEPS BW BORDERING WETLANDS BTW BOTTOM OF WALL CB CONCRETE BOUND CLF CHAIN LINK FENCE CONC CONCRETE CRW CONCRETE RETAINING WALL CS CRUSHED STONE CA CATCH ANGLE DH DRILL HOLE DWP DETECTABLE WARNING PANEL ENT ENTRANCE FD FOUND FOD FULL OF DEBRIS HR HAND RAIL INERT ELEVATION INACC INACCESSIBLE L ARC LENGTH LSA LANDSCAPED AREA MAHW MEAN ANNUAL HIGH WATER MTL METAL M&S MULCH & SHRUBS N/S NOT TO SCALE NVP NO VISIBLE PIPES OV OVER R RADIUS OR RIM ELEVATION RET RETAINING S SET SGR STEEL GUARD RAIL SB STONE BOUND SQ FT. SQUARE FEET SRW STONE RETAINING WALL STF STOCKADE FENCE TC TOP OF CURB TBM TEMPORARY BENCH MARK TH THRESHOLD TS TOP OF STEPS TW TOP OF WALL TRP TYPICAL WF-## WETLAND FLAG NUMBER WGR WOOD GUARD RAIL U UTILITY CONTINUES/UNKNOWN DESTINATION C COMMUNICATIONS SERVICE D DRAIN E ELECTRIC G GAS CHW OVERHEAD WIRES S SEWER W WATER -12" (C) PIPE SIZE AND MATERIAL CHT CHIT IRON RCP REINFORCED CONCRETE PIPE CPP CONCRETE PRESSURE PIPE VCP VITRIFIED CLAY PIPE DSS DISSIPATE GAS CSG CONCRETE STONE X-Y METAL FENCE W FENCE HR HAND RAIL GUARD RAIL EDGE OF WOODED AREA STONE WALL | <ul style="list-style-type: none"> CLF CHAIN LINK FENCE CONC CONCRETE CRW CONCRETE RETAINING WALL CS CRUSHED STONE CA CATCH ANGLE DH DRILL HOLE DWP DETECTABLE WARNING PANEL ENT ENTRANCE FD FOUND FOD FULL OF DEBRIS HR HAND RAIL INERT ELEVATION INACC INACCESSIBLE L ARC LENGTH LSA LANDSCAPED AREA MAHW MEAN ANNUAL HIGH WATER MTL METAL M&S MULCH & SHRUBS N/S NOT TO SCALE NVP NO VISIBLE PIPES OV OVER R RADIUS OR RIM ELEVATION RET RETAINING S SET SGR STEEL GUARD RAIL SB STONE BOUND SQ FT. SQUARE FEET SRW STONE RETAINING WALL STF STOCKADE FENCE TC TOP OF CURB TBM TEMPORARY BENCH MARK TH THRESHOLD TS TOP OF STEPS TW TOP OF WALL TRP TYPICAL WF-## WETLAND FLAG NUMBER WGR WOOD GUARD RAIL U UTILITY CONTINUES/UNKNOWN DESTINATION C COMMUNICATIONS SERVICE D DRAIN E ELECTRIC G GAS CHW OVERHEAD WIRES S SEWER W WATER -12" (C) PIPE SIZE AND MATERIAL CHT CHIT IRON RCP REINFORCED CONCRETE PIPE CPP CONCRETE PRESSURE PIPE VCP VITRIFIED CLAY PIPE DSS DISSIPATE GAS CSG CONCRETE STONE X-Y METAL FENCE W FENCE HR HAND RAIL GUARD RAIL EDGE OF WOODED AREA STONE WALL |
|--|---|

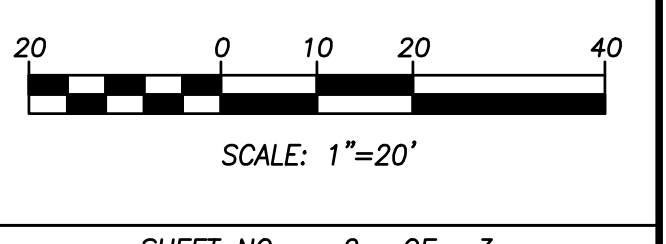
I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST RECORD PLANS, DEEDS, AND CERTIFICATES OF TITLE.

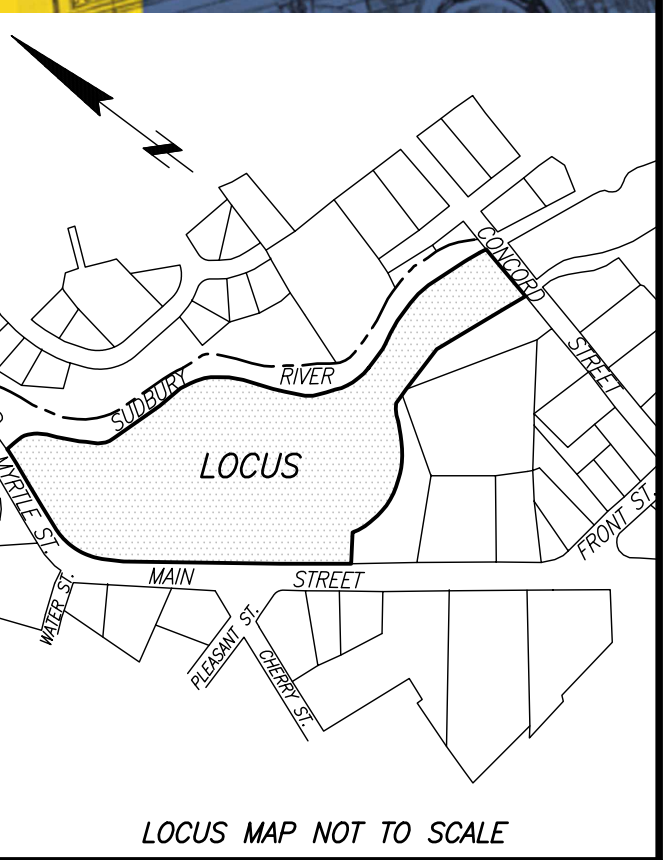


JOSEPH A. ZAMBUTO, PLS. DATE 1/7/2026
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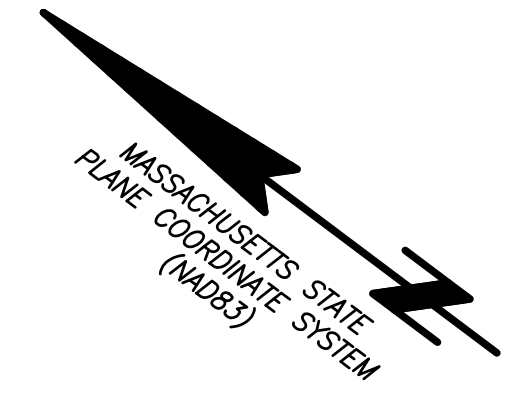
DRAWING NAME:
**EXISTING CONDITIONS
PLAN OF LAND
50 MAIN STREET
ASHLAND, MASS.**

DATE:	JUNE 21, 2024
REVISIONS:	11/4/2025 UPDATE TOPO & DRAINAGE
FILENAME:	2400483-01_revised.dwg
RESEARCH:	HF
FIELD CHIEF:	KF
FIELD MGR:	JRZ
APPROVER:	
CALC:	HF
DATE:	MM
FIELD CHK:	CRD FILE: 2400483-01





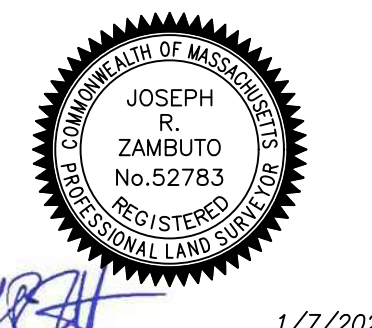
LOCUS MAP NOT TO SCALE



LEGEND

<ul style="list-style-type: none"> ⊙ SEWER MANHOLE ⊙ DRAIN MANHOLE ⊙ ELECTRIC MANHOLE ⊙ WATER MANHOLE ⊙ COMMUNICATIONS MANHOLE ⊙ MANHOLE ⊙ CATCH BASIN ⊙ HYDRANT ⊙ WATER SHUT OFF/WATER GATE ⊙ GAS SHUT OFF/GAS GATE ⊙ PIV POST INDICATOR VALVE ⊙ ELECTRIC HANDHOLE ⊙ TRAFFIC CONTROL BOX ⊙ PEDESTRIAN CROSSING SIGNAL ⊙ TRAFFIC SIGNAL ⊙ LIGHT POLE ⊙ UTILITY POLE W/ LIGHT ⊙ GUY WIRE ⊙ ELECTRIC CONDUIT RISER ⊙ BOLLARD ⊙ POST ⊙ GATE POST ⊙ MAIL BOX ⊙ SIGN ⊙ CLEAN OUT ⊙ FA FIRE ALARM ⊙ RD ROOF DRAIN ⊙ VENT ⊙ DRILL HOLE ⊙ BOUND FOUND ⊙ BOUND FOUND WITH DRILL HOLE ⊙ CONC BOUND FOUND WITH DRILL HOLE ⊙ OBSERVATION WELL ⊙ SECURITY CAMERA ⊙ TRANSFORMER ⊙ AIR CONDITIONING UNIT ⊙ GAS METER ⊙ ELECTRIC METER ⊙ NUMBER OF PARKING SPACES ⊙ HANDICAPPED PARKING SPACE ⊙ CURB RETURN ⊙ DECIDUOUS TREE ⊙ JERSEY BARRIER ⊙ WETLAND OR MAHW FLAG AWW AWNING [DIM] BUILDING DIMENSION BC BOTTOM OF CURB BK BACK BSW BACK OF SIDEWALK BFA BUILDING FOOTPRINT AREA BH BUILDING HEIGHT BT BUTTRESS BS BOTTOM OF STEPS BWV BORDERING VEGETATED WETLANDS BW BOTTOM OF WALL CB CONCRETE BOUND 	<ul style="list-style-type: none"> CLF CHAIN LINK FENCE CONC CONCRETE CRW CONCRETE RETAINING WALL CS CRUSHED STONE Δ Δ DELTA ANGLE DR DRILL HOLE DWP DETECTABLE WARNING PANEL ENT ENTRANCE FD FOUND FOD FILL OF DEBRIS HR HAND RAIL I INVERT ELEVATION INACC INACCESSIBLE ARC ARC LENGTH LSA LANDSCAPED AREA MAHW MEAN ANNUAL HIGH WATER MTL METAL MAS MULCH & SHRUBS NTS NOT TO SCALE NVP NO VISIBLE PIPES OV OVER R RADIUS OR RIM ELEVATION RET RETAINING S SET SGR STEEL GUARD RAIL SB STONE BOUND SO SQ. FT. SQ SQUARE FEET SRW STONE RETAINING WALL STF STOCKADE FENCE TC TOP OF CURB TBM TEMPORARY BENCH MARK TH THRESHOLD TS TOP OF STEPS TW TOP OF WALL TYP TYPICAL WF-# WETLAND FLAG NUMBER WGR WOOD GUARD RAIL -# UTILITY CONTINUES/UNKNOWN DESTINATION C COMMUNICATIONS SERVICE D DRAIN E ELECTRIC G GAS DHW OVERHEAD WIRES S SEWER WATER WETLAND OR MAHW FLAG PIPE SIZE AND MATERIAL 12"(C) CAST IRON RCP REINFORCED CONCRETE PIPE CCP CONCRETE PRESSURE PIPE VCP VITRIFIED CLAY PIPE DSS DISINFECT GAS X METAL FENCE WOOD FENCE HAND RAIL GUARD RAIL EDGE OF WOODED AREA STONE WALL
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(MAP 32763)
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**EXISTING CONDITIONS
PLAN OF LAND**

**50 MAIN STREET
ASHLAND, MASS.**

DATE: JUNE 21, 2024

REVISIONS:

11/4/2025	UPDATE TOPO & DRAINAGE
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FILENAME: 2400483-EX_recover.dwg

RESEARCH: JF	FIELD CHIEF: KF
FIELD MGR: JRZ	APPROVER:
CALC: HF	DRAW: MM
FIELD CHK: JF	CRD FILE: 2400483-EX

SCALE: 1"=20'

SHEET NO. 3 OF 3