

MONTHLY PROGRESS REPORT

REPORT NO. 09 | November 2021

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ASHLAND PUBLIC SAFETY

ASHLAND, MASSACHUSETTS



Pictures: Overall Site Progress

PROJECT DESCRIPTION:

This contract work is for a new public safety building for police and fire departments. The building will be 42,000 SF with a three-story structure, single story apparatus building with a mezzanine, a one story sally port with police vehicle storage, a freestanding carport, a free standing shooting range and associated site work. Ground level will contain the main entrance for the public, dispatch, booking area and cells roll call room, and police offices along with a k-9 kennel. The fire department will contain the watch room and apparatus bay. The second level will contain a training mezzanine for the fire department, dorm rooms, day room and kitchen, a shared fitness area for both departments and police locker rooms. The third level will contain offices and conference rooms for both police and fire departments. Some exterior features will include 2 roof gardens in police areas and sawtooth skylights in the fire department apparatus bay.

PROJECT COMPLETION

LAST REPORT

34.0%*

As of Payment Application No.9

CURRENT REPORT

40.0%**

***as of Pay App No. 10*

PROJECT INFORMATION:

Owner:
 Town of Ashland
 101 Main Street
 Ashland, MA 01721
 508.881.0100

Owner's Project Manager:
 The Vertex Companies, Inc. ("VERTEX")
 Bill Nangle
 400 Libbey Parkway
 Weymouth, MA 02189
 781.952.6000 / 6060F

Architect:
 HKT Architects, Inc. ("HKT")
 Paula Claridge
 24 Roland Street Suite 301
 Charlestown, MA 02129
 617.776.6678

Contractor:
 CTA Construction Mangers, LLC ("CTA")
 Bob Manning PM
 400 Totten Pond Road 2nd Floor
 Waltham, MA 02451
 781.786.6600

PAYMENT DETAILS

PAY APP NO. 10

Date Executed by Contractor
December 18, 2021

Date Certified by Architect
December 8, 2021

Original Contract Amount
\$22,145,000.00

Approved Change Orders
\$352,547.74

Amended Contract Amount
\$22,497,547.74

Approved To Date
\$8,970,829.44

Retainage Withholdings
\$448,541.47

Paid To Date
\$8,970,829.44

Pending Payment
\$1,226,655.23

Remaining To Bill
\$13,975,260.00

PAYMENT STATUS

Payment Application No.1 was recommended for payment in the amount of \$378,596.85.

Payment Application No. 2 was recommended for payment in the amount of \$233,970.94.

Payment Application No.3 was recommended for payment in the amount of \$226,913.00.

Payment Application No.4 was recommended for payment in the amount of \$401,084.64.

Payment Application No. 5 was recommended for payment in the amount of \$1,007,547.39.

Payment Application No. 6 was recommended for payment in the amount of \$849,580.69.

Payment Application No. 7 was recommended for payment in the amount of \$1,653,641.61.

Payment Application No. 8 was recommended for payment in the amount of \$1094,647.00.

Payment Application No. 9 was recommended for payment in the amount of \$1,449,650.63

Payment Application No. 10 was recommended for payment in the amount of \$1,226,655.23

PROJECT COMPLETION

LAST REPORT

28.0%*

**as of Pay App No.8*

CURRENT REPORT

34.0%**

***as of Pay App No. 9*

POTENTIAL DAMAGES

There are no potential damages to report at this time.

AFFIRMATIVE CLAIMS

There are no affirmative claims at this time.

SCHEDULE UPDATE

CTA is currently providing weekly 3-week look-aheads. We have requested that CTA provide an updated CPM (Critical Path Method) schedule, that has not been delivered at the time of this report. Vertex reviewed last month's schedule and is concerned about the schedule slipping by a few weeks and plans to discuss the plan of action with HKT, the Town, and the committee. This will ultimately result in a discussion with CTA.

CONSTRUCTION ACTIVITY

Site:

Site work is on-going; underground utilities and drainage structures are being installed, cuts and fills are on-going at rear of site.

Electrical:

Rough electrical throughout the building is on-going.

Exterior Work:

Mock-up is on-going, Exterior framing and sheathing is on-going, CMU installation has commenced, roof decking is on-going, insulative coating is on-going.

Steel:

Steel, decking and detailing for the building is complete. Steel for carport has been delivered to the site and to be installed at a alter date.

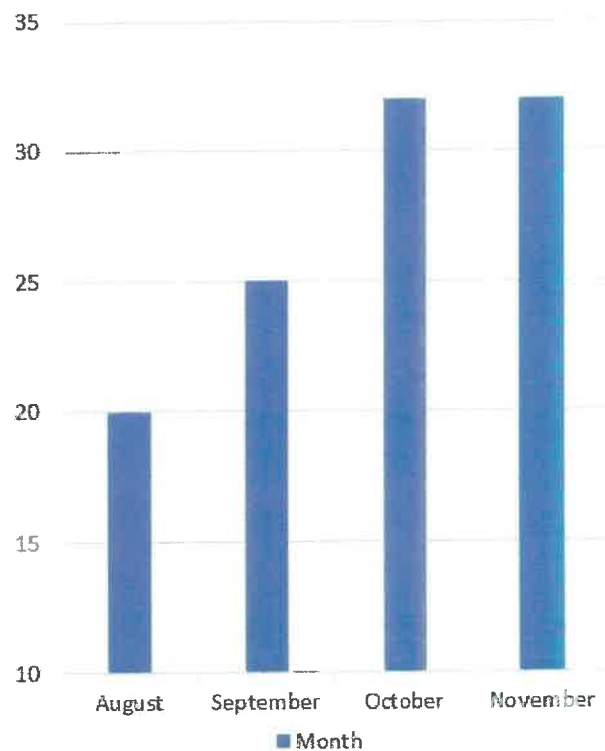
Plumbing , HVAC, and Interior Work:

Rough plumbing, electrical, fire supression and HVAC throughout the building is on-going. Interior framing is on-going throughout the building. Interior CMU installation is on-going in the sally port, detention areas.

Safety:

CTA along with VERTEX have been ensuring on-site job safety.

Average Daily Workforce



Workforce:

The average daily workforce has been approximately 32 workers per day. The low for the month was 22 workers the high was 38 workers.

Certified Payrolls:

Certified payrolls are coming in to Vertex from the sub-contractors. VERTEX will maintain copies, and review all certified payrolls and distribute to the Town.

CHANGE ORDERS / PROPOSAL REQUESTS

PCO No.	PR / RFI No.	Description	Amount			Status	CO
			Original	Revised	Approved		
		Starting Contingency - \$2,805,145					
1	RFI #82	PCO #1- Revised window layout due to structural brace	\$2,650.73		\$2,650.73	Approved	1
2	RFI #48	PCO #2 - PA priority cabability	\$1,053.19		\$1,053.19	Approved	1
3	RFI #85	PCO #3 - Cut/Cap two existing water mains at street	\$16,357.07	\$14,295.39	\$14,295.39	Approved	2
4	Rev. 7	PCO #4- Fire review changes	\$31,353.29	\$41,846.05	\$41,846.05	Approved	3
5	PR 02	PCO #5 - Communications antenna	\$152,662.48		\$152,662.48	Approved	1
6		PCO #6 - Eversource Temporary Power	\$17,370.00		\$17,370.00	Approved	2
7	RFI #87	PCO #7 - Sewer drain line and manhole credit	-\$3,535.00	-\$6,596.80	-\$6,596.80	Approved	2
8	RFI #84	PCO #8 - Additional drainage structures	\$9,990.05		\$9,990.05	Approved	2
9	RFI #43	PCO #9 - Added power and data for fitness room monitor	\$2,107.34		\$2,107.34	Approved	2
10	PR 01	PCO #10 - Credit for reduction in electrical connections for VRV'S	-\$796.64	-\$891.98	-\$891.98	Approved	3
11	RFI's 37,98	PCO #11 - Additional detailing	\$1,826.06	\$1,590.44	\$1,590.44	Approved	4
12	PR 03	PCO #12 - Extension of water services (water loop) w/ ledge (\$45k+/-)	\$88,820.64		\$55,427.66	Approved	3
13	RFI #135	PCO #13 - HALL 119 DOOR 116B&W22 coordination (added masonry)	\$1,555.12		\$1,555.12	Approved	3
14	RFI #88	PCO #14 - Apparatus bay underground coordination	\$1,805.40		\$1,805.40	Approved	3
15	PR 05	PCO #15 - Traffic signal equipment	\$21,559.23		\$21,559.23	Approved	3
16	ASI 004	PCO #16 - Elec. Changes for apparatus bay doors	\$1,226.86		\$1,226.86	Approved	3
17	PR 06	PCO #17 - Door access control system changes	\$12,011.68	\$17,599.75	\$17,599.75	Approved	5
18	PR 04	PCO #18 - Ambient noise sensor request	\$6,322.24		\$6,322.24	Approved	4
19		PCO #19 - Added cost for discontinued insulation	\$24,926.25		\$24,926.25	Approved	4
20		PCO #20 - Roofer material cost Increase	\$134,289.48			Rejected	
21		PCO #21 - Added temp. water filtration system	\$94,527.02	\$16,150.18		Review	
22		PCO #22 - additional footing for shooting range	\$11,592.73	\$10,979.43	\$10,979.43	Approved	5
23	RFI #147	PCO #23 - Added station alarm outlets on 2nd and 3rd floors	\$2,898.39		\$2,898.39	Approved	4
24		PCO #24 - Unsuitable soil removal	\$15,967.54		\$15,967.54	Approved	5
25	RFI #121	PCO #25 - Waterproofing at green roof	\$14,366.91	\$12,160.61		Review	
26		PCO #26 - ADA Compliance fridge	\$749.70		\$749.70	Approved	4
27	RFI #189	PCO #27 - Added blocking for roof gutter drains	\$17,567.61			T&M	
28	PR 07	PCO #28 - Gas line credit and added comms. for shooting range	\$10,083.07			Review	
29		PCO #29 - Antenna pad modifications	\$3,420.72		\$3,420.72	Approved	5
30		PCO #30 - Dumpster enclosure structural slab requirements	\$9,693.39	\$11,722.40	\$11,722.40	Approved	6
31	RFI #194	PCO #31 - Sanitary sewer clarification	\$1,311.52		\$1,311.52	Approved	5
32	PR 10	PCO #32 - Added underdrain at stair 2	\$5,571.72		\$5,571.72	Approved	5
33	PR 09	PCO #33 - Replace portion of water main in front of site	\$300,388.26			Rejected	
34	RFI #189	PCO #34 - Gable end blocking	\$15,519.73	\$4,985.13	\$4,985.13	Approved	6
35	RFI #73	PCO #35 - Typical coping gyp. Sheathing	\$4,055.99			Rejected	
36	RFI #23	PCO #36 - Window and louver blocking costs	\$13,737.42			Rejected	
37	RFI #201	PCO #37 - Added roof gutter drains	\$13,040.89		\$13,040.89	Approved	5
38	RFI #196	PCO #38 - Green Roof Slope Requirements	\$86,771.40	\$36,666.49		Review	
39	PR 08	PCO #39 - Fans for apparatus bay	\$67,042.19			Review	
40	RFI #34	PCO #40 - roof curb nailer fastening	\$17,061.04		\$17,061.04	Approved	5
41	PR 012	PCO #41 - Added pre-emption sensor at traffic signal	\$5,775.50		\$5,775.50	Approved	5
42	PR011	PCO #42 - Repair to existing stone wall	TBD				
43	RFI #202	PCO #43 - Security glazing scope clarification	\$6,086.04			Rejected	
TBD	RFI #230	TBD -Installation of detention frames					
TBD		PCO XX - Potential ledge credit	-\$90,000.00			Not submitted	
		TOTALS	\$648,541.15	\$160,507.09	\$459,983.38		

ISSUES / CONCERNS

1. At the time of this report Vertex is concerned about the schedule and a possible schedule extension request by CTA.
2. At the time of this report, Vertex is concerned about the schedule for Eversource Gas to provide the new gas line for the project as they have confirmed it will not be until early 2022.

SITE DOCUMENTATION

01



Photo depicts the progress of the exterior sheathing and blocking.

02



Photo depicts the progress of the exterior sheathing and blocking.

03



Photo depicts the progress of exterior sheathing, blocking and installation of CMU.

04



Photo depicts the progress of the parapet framing and CMU installation.

SITE DOCUMENTATION

05



Photo depicts the progress of the detention area.

06



Photo depicts the progress of the first floor framing.

07



Photo depicts the progress of second floor framing.

08



Photo depicts the progress of the third floor framing, sprinkler and HVAC

SITE DOCUMENTATION

05



Photo depicts the progress of the third floor electrical rough-in

06



Photo depicts the progress of truss decking and HVAC piping.

07



Photo depicts progress of the Apparatus bay slab prep.

08



Photo depicts the progress of the apparatus bay roof framing and blocking.

SITE DOCUMENTATION

09



Photo depicts the progress of the underground utilities and drainage.

10



Photo depicts the site progress at the rear of the building.

11



Photo depicts the progress of the rear of the site.

12



Photo depicts the progress of the front of the site along with underground utilities and drainage.



Appendix A-01

APPLICATION FOR PAYMENT NO. 9
(cover page only)

APPLICATION AND CERTIFICATE FOR PAYMENT

AIA DOCUMENT G702

PAGE ONE OF

PAGES

TO THE OWNER: Name: Town of Ashland
 Address: Town Hall
 101 Main Street
 Ashland, MA 01721

PROJECT: Ashland Public Safety Building
 Name: Ashland Public Safety Building
 Address: 12 Union Street
 Ashland, MA 01721

APPLICATION NO.: 10
 Distribution to:
 PERIOD TO: 11/30/2021 x OWNER
 APPLICATION DATE: 11/30/2021 x ARCHITECT
 Architect's Project #: CONTRACTOR

FROM CONTRACTOR: CTA Construction Managers, LLC
 400 Totten Pond Road 2nd Floor
 Waltham, MA 02451

VIA ARCHITECT: JIKT Architects Inc.
 Address: 24 Roland Street, Suite 301
 Charlestown, MA 02129

CONTRACTOR: CTA Construction Managers, LLC
 CONTRACT DATE: 03/15/21

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract.
 Continuation sheet, AIA document G703, is attached.

1. ORIGINAL CONTRACT SUM \$ 22,145,000.00
2. Net change by Change Orders \$ 352,547.74
3. CONTRACT SUM TO DATE (Line 1 + or - 2) \$ 22,497,547.74
4. TOTAL COMPLETED & STORED TO DATE (Column G on G703) \$ 8,970,829.44

5. RETAINAGE:
 - a. 5% % of Completed Work \$ 448,541.47
 (Columns D + E + F on G703)
 - b. % of Stored Material \$

6. TOTAL EARNED LESS RETAINAGE (Line 4 less Line 5 Total) \$ 448,541.47
 \$ 8,522,287.97
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT (amount paid to date) \$ 7,295,632.74
8. CURRENT PAYMENT DUE \$ 1,226,655.23
9. BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 less Line 6) \$ 13,975,260

CHANGE ORDER SUMMARY	CO's	CCD's
Total changes approved in previous months by Owner	\$352,547.74	
Total approved this Month	\$0.00	
TOTALS	\$352,547.74	\$0.00
NET CHANGES by Change Order & CCD's	\$352,547.74	

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner and that current payment shown herein is now due.

CONTRACTOR: CTA Construction Managers, LLC

By: *Paula J. Claridge* Date: 12/8/21

State of: MASSACHUSETTS
 County of: MIDDLESEX
 Subscribed and sworn to before me this 8th day of December 2021
 Notary Public: *John P. Young*
 My Commission expires: 04/20/2023

ARCHITECT'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED \$ 1,226,655.23

(Attach explanation if amount certified differs from the amount applied for. Initial all figures on this Application and on the Continuation Sheet that are changed to conform to the amount certified.)

ARCHITECT HKT Architects Inc.

By: *Paula J. Claridge* Date: 12.08.21

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

THREE WEEK LOOK AHEAD

NOTABLE CORRESPONDENCE