

MONTHLY PROGRESS REPORT

REPORT NO. 12 | February 2022

REPORT LISTING

| | |
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| Project Information | 1 |
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| Notable Correspondence | N/A |

ASHLAND PUBLIC SAFETY

ASHLAND, MASSACHUSETTS



Pictures: Overall Site Progress

PROJECT DESCRIPTION:

This contract work is for a new public safety building for police and fire departments. The building will be 42,000 SF with a three-story structure, single story apparatus building with a mezzanine, a one story sally port with police vehicle storage, a freestanding carport, a free standing shooting range and associated site work. Ground level will contain the main entrance for the public, dispatch, booking area and cells roll call room, and police offices along with a k-9 kennel. The fire department will contain the watch room and apparatus bay. The second level will contain a training mezzanine for the fire department, dorm rooms, day room and kitchen, a shared fitness are for both departments and police locker rooms. The third level will contain offices and conference rooms for both police and fire departments. Some exterior features will include 2 roof gardens in police areas and sawtooth skylights in the fire department apparatus bay.

PROJECT COMPLETION

LAST REPORT

54.0%*

As of Payment Application No..12

CURRENT REPORT

62.0%**

**as of Pay App No. 13

PROJECT INFORMATION:

Owner:

Town of Ashland
 101 Main Street
 Ashland, MA 01721
 508.881.0100

Owner's Project Manager:

The Vertex Companies, Inc. ("VERTEX")
 Bill Nangle
 400 Libbey Parkway
 Weymouth, MA 02189
 781.952.6000 / 6060F

Architect:

HKT Architects, Inc. ("HKT")
 Paula Claridge
 24 Roland Street Suite 301
 Charlestown, MA 02129
 617.776.6678

Contractor:

CTA Construction Mangers, LLC ("CTA")
 Bob Manning PM
 400 Totten Pond Road 2nd Floor
 Waltham, MA 02451
 781.786.6600

PAYMENT DETAILS

PAY APP NO. 13

Date Executed by Contractor
March 11, 2022

Date Certified by Architect
March 11, 2022

Original Contract Amount
\$22,145,000.00

Approved Change Orders
\$642,081.32

Amended Contract Amount
\$22,787,081.32

Approved To Date
\$13,521,654.22

Retainage Withholdings
\$711,666.00

Paid To Date
\$13,521,654.22

Pending Payment
\$1,845,650.57

Remaining To Bill
\$9,265,427.00

PAYMENT STATUS

Payment Application No.1 was recommended for payment in the amount of \$378,596.85.

Payment Application No. 2 was recommended for payment in the amount of \$233,970.94.

Payment Application No.3 was recommended for payment in the amount of \$226,913.00.

Payment Application No.4 was recommended for payment in the amount of \$401,084.64.

Payment Application No. 5 was recommended for payment in the amount of \$1,007,547.39.

Payment Application No. 6 was recommended for payment in the amount of \$849,580.69.

Payment Application No. 7 was recommended for payment in the amount of \$1,653,641.61.

Payment Application No. 8 was recommended for payment in the amount of \$1094,647.00.

Payment Application No. 9 was recommended for payment in the amount of \$1,449,650.63

Payment Application No. 10 was recommended for payment in the amount of \$1,226,655.23

Payment Application No. 11 was recommended for payment in the amount of \$1,885,332.82

Payment Application No. 12 was recommended for payment in the amount of \$1,268,382.85.

Payment Application No. 13 Is under review in the amount of \$1,845,650.57

PROJECT COMPLETION

LAST REPORT

54.0%*

**as of Pay App No.12*

CURRENT REPORT

62.0%**

***as of Pay App No. 13*

POTENTIAL DAMAGES

There are no potential damages to report at this time.

AFFIRMATIVE CLAIMS

There are no affirmative claims at this time.

SCHEDULE UPDATE

CTA is currently providing weekly 3-week look-aheads. CTA provided an updated CPM schedule showing a new substantial completion date of July 13, 2022. The schedule extension has been agreed to.

CONSTRUCTION ACTIVITY

Site:

Site work is on-going; retaining wall is being installed, export of materials is on-going.

Electrical:

Rough electrical throughout the building is on-going, they have begun pulling wire on the third floor. The primary and secondary poles have been installed.

Exterior Work:

Mock-up is on-going, Exterior framing and sheathing is complete on the admin side, framing, sheathing and AVB is on-going on the apparatus bay doors and sawtooth roofs. Brick installation is complete on the East and North elevations, West and South elevations are on-going. Apparatus bay rubber roof is approximately 99% complete, metal roof has been delivered to site and install to begin early next month. Window installation is approximately 80% complete, metal window trim has commenced, AVB is on-going and approximately 95% complete at the time of this report. Seismic clip installation is complete.

Steel:

Substantially complete.

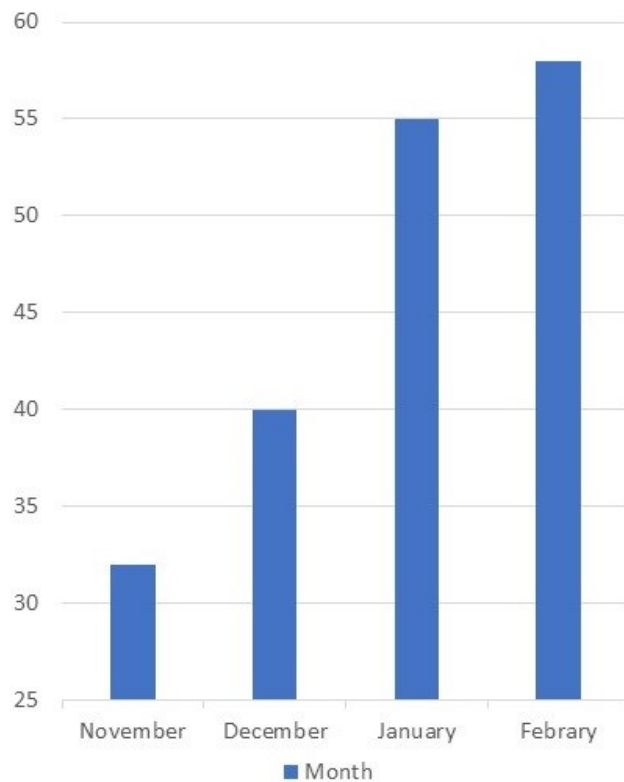
Plumbing , HVAC, and Interior Work:

Rough plumbing, electrical, fire suppression and HVAC throughout the building on all 3 floors is on-going, pipe insulation is on-going. Interior framing is complete, Insulation, drywall tape and mud is on-going on the second and third floors. Interior CMU installation is 99% complete at the time of this report. Misc. metals is on-going (stairs 1 and 3).

Safety:

CTA along with VERTEX have been ensuring on-site job safety.

Average Daily Workforce



Workforce:

The average daily workforce has been approximately 58 workers per day. The low for the month was 39 workers the high was 67 workers.

Certified Payrolls:

Certified payrolls are coming in to Vertex from the sub-contractors. VERTEX will maintain copies, and review all certified payrolls and distribute to the Town.

CHANGE ORDERS / PROPOSAL REQUESTS

| PCO No. | PR / RFI No. | Description | Amount | | | Status | CO |
|---------|---------------------|--|-----------------------|-----------------------|---------------------|------------------|----|
| | | | Original | Current | Approved | | |
| | | Starting Contingency - \$2,805,145 | | | | | |
| 1 | RFI #82 | PCO #1 - Revised window layout due to structural brace | \$2,650.73 | \$2,650.73 | \$2,650.73 | Approved | 1 |
| 2 | RFI #48 | PCO #2 - PA priority cabability | \$1,053.19 | \$1,053.19 | \$1,053.19 | Approved | 1 |
| 3 | RFI #85 | PCO #3 - Cut/Cap two existing water mains at street | \$16,357.07 | \$14,295.39 | \$14,295.39 | Approved | 2 |
| 4 | Rev. 7 | PCO #4 - Fire review changes | \$31,353.29 | \$41,846.05 | \$41,846.05 | Approved | 3 |
| 5 | PR 02 | PCO #5 - Communications antenna | \$152,662.48 | \$152,662.48 | \$152,662.48 | Approved | 1 |
| 6 | | PCO #6 - Eversource Temporary Power | \$17,370.00 | \$17,370.00 | \$17,370.00 | Approved | 2 |
| 7 | RFI #87 | PCO #7 - Sewer drain line and manhole credit | -\$3,535.00 | -\$6,596.80 | -\$6,596.80 | Approved | 2 |
| 8 | RFI #84 | PCO #8 - Additional drainage structures | \$9,990.05 | \$9,990.05 | \$9,990.05 | Approved | 2 |
| 9 | RFI #43 | PCO #9 - Added power and data for fitness room monitor | \$2,107.34 | \$2,107.34 | \$2,107.34 | Approved | 2 |
| 10 | PR 01 | PCO #10 - Credit for reduction in electrical connections for VRV'S | -\$796.64 | -\$891.98 | -\$891.98 | Approved | 3 |
| 11 | RFI's 37,98 | PCO #11 - Additional detailing | \$1,826.06 | \$1,590.44 | \$1,590.44 | Approved | 4 |
| 12 | PR 03 | PCO #12 - Extension of water services (water loop) w/ ledge (\$45k+/-) | \$88,820.64 | \$55,427.66 | \$55,427.66 | Approved | 3 |
| 13 | RFI #135 | PCO #13 - HALL 119 DOOR 116B&W22 coordination (added masonry) | \$1,555.12 | \$1,555.12 | \$1,555.12 | Approved | 3 |
| 14 | RFI #88 | PCO #14 - Apparatus bay underground coordination | \$1,805.40 | \$1,805.40 | \$1,805.40 | Approved | 3 |
| 15 | PR 05 | PCO #15 - Traffic signal equipment | \$21,559.23 | \$21,559.23 | \$21,559.23 | Approved | 3 |
| 16 | ASI 004 | PCO #16 - Elec. Changes for apparatus bay doors | \$1,226.86 | \$1,226.86 | \$1,226.86 | Approved | 3 |
| 17 | PR 06 | PCO #17 - Door access control system changes | \$12,011.68 | \$17,599.75 | \$17,599.75 | Approved | 5 |
| 18 | PR 04 | PCO #18 - Ambient noise sensor request | \$6,322.24 | \$6,322.24 | \$6,322.24 | Approved | 4 |
| 19 | | PCO #19 - Added cost for discontinued insulation | \$24,926.25 | \$24,926.25 | \$24,926.25 | Approved | 4 |
| 20 | | PCO #20 - Roofer material cost increase | \$134,289.48 | \$134,289.48 | | Rejected Claim | |
| 21 | | PCO #21 - Added temp. water filtration system | \$94,527.02 | \$16,150.18 | | Not re-submitted | |
| 22 | | PCO #22 - additional footing for shooting range | \$11,592.73 | \$10,979.43 | \$10,979.43 | Approved | 5 |
| 23 | RFI #147 | PCO #23 - Added station alarm outlets on 2nd and 3rd floors | \$2,898.39 | \$2,898.39 | \$2,898.39 | Approved | 4 |
| 24 | | PCO #24 -Unsuitable soil removal | \$15,967.54 | \$15,967.54 | \$15,967.54 | Approved | 6 |
| 25 | RFI #121 | PCO #25 - Waterproofing at green roof | \$14,366.91 | \$12,160.61 | \$12,160.61 | Approved | 6 |
| 26 | | PCO #26 - ADA Compliance fridge | \$749.70 | \$749.70 | \$749.70 | Approved | 4 |
| 27 | RFI #189 | PCO #27 - Added blocking for roof gutter drains | \$17,567.61 | \$17,567.61 | \$17,567.61 | Recommended | |
| 28 | PR 07 | PCO #28 - Gas line credit and added comms. for shooting range | \$10,083.07 | \$9,080.66 | \$9,080.66 | Approved | 7 |
| 29 | | PCO #29 - Antenna pad modifications | \$3,420.72 | \$3,420.72 | \$3,420.72 | Approved | 5 |
| 30 | | PCO #30 - Dumpster enclosure structural slab requirements | \$9,693.39 | \$11,722.40 | \$11,722.40 | Approved | 6 |
| 31 | RFI #194 | PCO #31 -Sanitary sewer clarification | \$1,311.52 | \$1,311.52 | \$1,311.52 | Approved | 5 |
| 32 | PR 10 | PCO #32 - Added underdrain at stair 2 | \$5,571.72 | \$5,571.72 | \$5,571.72 | Approved | 5 |
| 33 | PR 09 | PCO #33 - Replace portion of water main in front of site | \$300,388.26 | | | Rejected | |
| 34 | RFI #189 | PCO #34 - Gable end blocking | \$15,519.73 | \$4,985.13 | \$4,985.13 | Approved | 6 |
| 35 | RFI #73 | PCO #35 -Typical coping gyp. Sheathing | \$4,055.99 | \$4,055.99 | | Rejected Claim | |
| 36 | RFI #23 | PCO #36 - Window and louver blocking costs | \$13,737.42 | \$13,737.42 | | Rejected Claim | |
| 37 | RFI #201 | PCO #37 - Added roof gutter drains | \$13,040.89 | \$13,040.89 | \$13,040.89 | Approved | 5 |
| 38 | RFI #196 | PCO #38 - Green Roof Slope Requirements | \$86,771.40 | \$36,666.49 | \$36,666.49 | Approved | 6 |
| 39 | PR 08 | PCO #39 - Fans for apparatus bay | \$67,042.19 | \$75,607.00 | \$75,607.00 | Approved | 7 |
| 40 | RFI #34 | PCO #40 - roof curb nailer fastening | \$17,061.04 | \$17,061.04 | \$17,061.04 | Approved | 5 |
| 41 | PR 012 | PCO #41 - Added pre-emption sensor at traffic signal | \$5,775.50 | \$5,775.50 | \$5,775.50 | Approved | 5 |
| 42 | PR011 | PCO #42 - Repair to existing stone wall | \$45,306.57 | \$41,863.12 | | Review | |
| 43 | RFI #202 | PCO #43 - Security glazing scope clarification | \$6,086.04 | \$6,086.04 | \$6,086.04 | Approved | 7 |
| 44 | PR 013 | PCO #44 - Revisions to vehicle exhaust system | \$20,498.34 | \$20,498.34 | \$20,498.34 | Approved | 7 |
| 45 | | PCO #45 - Geothermal wells - added grout and loop material | \$19,259.79 | \$19,259.79 | \$19,259.79 | Approved | 7 |
| 46 | RFI #213 | PCO #46 - Conceal exposed insulation at south of roof monitors | \$2,712.80 | \$2,712.80 | | Review | |
| 47 | PR 014 | PCO #47 - Enclose dispatch supervisor area | \$10,000.34 | | | Rejected | |
| 48 | RFI #212 | PCO #48 - Retaining wall drainage | \$12,571.15 | | | R&R | |
| 49 | RFI #221 | PCO #49 - Sub-drain detail clarification | \$90,178.57 | \$90,178.57 | | Rejected Claim | |
| 50 | RFI #175 | PCO #50 - Wall section 10 line g-h conflict | \$4,876.61 | \$4,876.61 | \$4,876.61 | Approved | |
| 51 | PR 15 | PCO #51 - Vestibule roofing changes | -\$4,154.46 | -\$4,154.46 | | Review | |
| 52 | | PCO #52 - Carport walls raised | \$1,206.32 | \$1,206.32 | | Review | |
| 53 | RFI #207, 223 & 231 | PCO #53 - Window and steel brace conflicts | \$1,984.35 | \$1,984.35 | | Review | |
| 54 | | Installation of detention door frames (T&M) | \$7,503.30 | \$7,503.30 | | | |
| 55 | ASI 006 | Exit Sign Revisions | \$2,481.25 | \$2,481.25 | | Approved | |
| 56 | | Project Delay & Extended General Conditions | \$189,453.88 | \$189,453.88 | | Review | |
| 57 | TBD | | | | | | |
| 58 | TBD | | | | | | |
| 59 | | Mobile Storage Unit Changes | \$4,155.48 | \$4,155.48 | | Approved | |
| 60 | TBD | | | | | | |
| 61 | TBD | Water Main repair (Emergency repair 12/29-12/30) | \$12,655.59 | \$12,655.59 | | Review | |
| 62 | | | | | | | |
| 63 | | | | | | | |
| | TBD | PCO XX - Potential ledge credit | -\$90,000.00 | | | Not submitted | |
| | | TOTALS | \$1,571,474.13 | \$1,180,059.80 | \$661,786.53 | | |

ISSUES / CONCERNS

- At the time of this report Vertex does not have any issues or concerns.

01



Photo depicts the progress of the AVB, window installation and brick.

02



Photo depicts the progress of the AVB, framing and window installation.

03



Photo depicts the progress of installation of door frames and AVB at rear of building.

04



Photo depicts the progress of the parapet framing, sheathing, blocking, AVB, roofing and temporary enclosure to heat the building.

SITE DOCUMENTATION

05



Photo depicts the progress of the third floor drywall, tape, mud, plumbing, HVAC, sprinkler system and electrical.

06



Photo depicts the progress of the Second drywall, HVAC, sprinkler system and electrical.

07



Photo depicts the progress of First floor framing, fire protection, plumbing, electrical and HVAC.

08



Photo depicts the progress of the apparatus bay.

09



Photo depicts the progress of the apparatus bay.

10



Photo depicts the progress of the apparatus bay.

11



Photo depicts progress of the Apparatus bay roof, AVB, windows and HVAC equipment.

12



Photo depicts the progress of the apparatus bay roof, sawtooth roof framing and HVAC equipment.

SITE DOCUMENTATION

13



Photo depicts the Concrete for stair 1.

14



Photo depicts the progress of the retaining wall.

15



Photo depicts the progress of the retaining wall.

16



Photo depicts the progress the roof AVB and front of site.



Appendix A-01

APPLICATION FOR PAYMENT NO. 13
(cover page only)

APPLICATION AND CERTIFICATE FOR PAYMENT

AIA DOCUMENT G702

PAGE ONE OF

PAGES

TO THE OWNER: Name: Town of Ashland
Address: Town Hall
101 Main Street
Ashland, MA 01721

PROJECT: Name: Ashland Public Safety Building
Address: 12 Union Street
Ashland, MA 01721

APPLICATION NO.: 13 Distribution to:
PERIOD TO: 2/28/2022 x OWNER
APPLICATION DATE: 2/28/2022 x ARCHITECT
Architect's Project #: _____ CONTRACTOR

FROM CONTRACTOR: **CTA Construction Managers, LLC**
400 Totten Pond Road 2nd Floor
Waltham, MA 02451

VIA ARCHITECT: Name: HKT Architects Inc.
Address: 24 Roland Street, Suite 301
Charlestown, MA 02129

CONTRACT DATE: 03/15/21

CONTRACT FOR: Ashland Public Safety Building

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract.
Continuation sheet, AIA document G703, is attached.

- 1. ORIGINAL CONTRACT SUM \$ \$22,145,000.00
- 2. Net change by Change Orders \$ \$642,081.32
- 3. CONTRACT SUM TO DATE (Line 1 + or - 2) \$ \$22,787,081.32
- 4. TOTAL COMPLETED & STORED TO DATE \$ \$ 14,233,320.22
(Column G on G703)
- 5. RETAINAGE:
 - a. 5% % of Completed Work \$ \$711,666.00
(Columns D + E + F on G703)
 - b. _____ % of Stored Material \$ _____
(Column on G703)

Total Retainage (Line 5a + 5b or
Total in Column J of G703) \$ \$711,666.00
- 6. TOTAL EARNED LESS RETAINAGE \$ \$ 13,521,654.22
(Line 4 less Line 5 Total)
- 7. LESS PREVIOUS CERTIFICATES FOR PAYMENT \$ \$11,676,003.65
(Line 6 from prior Certificate) (amount paid to date)
- 8. CURRENT PAYMENT DUE \$ \$ 1,845,650.57
- 9. BALANCE TO FINISH, INCLUDING RETAINAGE \$ \$9,265,427
(Line 3 less Line 6)

| CHANGE ORDER SUMMARY | CO's | CCD's |
|--|---------------------|---------------|
| Total changes approved in previous months by Owner | \$508,810.48 | |
| Total approved this Month | \$133,270.84 | |
| TOTALS | \$642,081.32 | \$0.00 |
| NET CHANGES by Change Order & CCD's | \$642,081.32 | |

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner and that current payment shown herein is now due.

CONTRACTOR: CTA Construction Managers, LLC

By: *[Signature]* Date: 3/2/22

State of: MASSACHUSETTS

County of: MIDDLESEX

Subscribed and sworn to before me this 2nd day of March, 2022



Notary Public: *[Signature]*
My Commission expires: 04/20/2023

ARCHITECT'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED \$ _____

(Attach explanation if amount certified differs from the amount applied for. Initial all figures on this Application and on the Continuation Sheet that are changed to conform to the amount certified.)

ARCHITECT HKT Architects Inc.

By: _____ Date: _____

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.



Appendix A-02

THREE WEEK LOOK AHEAD



Appendix A-03

NOTABLE CORRESPONDENCE